



7505 South Holden Street
Midvale, UT 84047
Phone (801) 567-7200
www.midvalecity.org

**MIDVALE PLANNING AND ZONING COMMISSION MEETING
AGENDA
JANUARY 13, 2016**

**WORKSHOP MEETING
ALEXANDER DAHL CONFERENCE ROOM
6:30 PM**

- STAFF BRIEFING OF AGENDA ITEMS AND UPDATES

**GENERAL SESSION
COUNCIL CHAMBERS
7:00 PM**

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC HEARING(S)

1. SPR/CUP-21-25-482-019; THE STATION AT MIDVALE; 7682-7696 SOUTH CENTER SQUARE AND 137 WEST PARK STREET; PRELIMINARY SUBDIVISION PLAT FOR TWO RESIDENTIAL UNITS AND COMMON AREA; TRANSIT ORIENTED DEVELOPMENT ZONE; KIRT PETERSON/HORIZON DEVELOPMENT (APPLICANT)
2. CUP-21-25-127-015; ROYAL TINTING; 7174 SOUTH 400 WEST #6; CONDITIONAL USE PERMIT FOR VEHICLE RELATED USE; CLEAN INDUSTRIAL ZONE; NATE WELKER (APPLICANT)
3. CUP-21-25-454-014; PARKER DUPLEX; 158 WEST CENTER STREET; CONDITIONAL USE PERMIT FOR TWO UNIT RESIDENTIAL STRUCTURE (DUPLEX); SINGLE FAMILY RESIDENTIAL ZONE (SF-1)/DUPLEX OVERLAY; DAVE WEBSTER (APPLICANT)
4. SSMP/CUP-21-23-476-005; PARDOE ASSISTED LIVING FACILITY; 6968 SOUTH 700 WEST; SMALL SCALE MASTER PLAN AND CONDITIONAL USE PERMIT FOR RESIDENTIAL ASSISTED LIVING FACILITY; BINGHAM JUNCTION ZONE/RIVERWALK OVERLAY; BRIAN CARLISLE (APPLICANT)

ACTION ITEM(S)

5. SPR/CUP-21-25-153-002; BABCOCK MIDVALE SELF STORAGE PHASE TWO; 621 WEST NINTH AVENUE; CONDITIONAL USE PERMIT AND PRELIMINARY SITE PLAN FOR SELF-SERVICE STORAGE FACILITY; CLEAN INDUSTRIAL ZONE; JAMES JOHANSEN AND NICHOLS NAYLOR ARCHITECTURE (APPLICANTS) (TABLED FROM 11-18-15)
6. ELECTION OF CHAIR AND VICE CHAIR

MINUTES

7. REVIEW AND APPROVE MINUTES OF NOVEMBER 18, 2015 AND DECEMBER 9, 2015

ADJOURN

The workshop meeting is open to the public; however, there is no public participation. This meeting includes City Staff briefing Commission Members on the technical aspects of the agenda items. Members of the public will be given an opportunity to address the Commission during public hearing items in the general session. The Commission reserves the right to amend the order of the agenda if deemed appropriate. No item will be heard after 10:30pm without unanimous consent of the Commission. Items not heard will be scheduled on the next agenda. In accordance with the Americans with Disabilities Act, Midvale City will make reasonable accommodations for participation in the meeting. Request assistance by contacting the CED Administrative Assistant at (801) 567-7211, providing at least three working days advance notice of the meeting.

A copy of the foregoing agenda was provided to the news media by email and/or fax; the agenda was posted in the City Hall Lobby, the 2nd Floor City Hall Lobby, on the City's website at www.midvalecity.org and the State Public Notice website at <http://pnm.utah.gov>. Commission Members may participate in the meeting via electronic communication. Commission Members' participation via electronic communication will be broadcast and amplified so all Commission Members and persons present in the Council Chambers will be able to hear or see the communication.

Lesley Burns, City Planner

Dated this 5th Day of January, 2016

Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION:	STATION AT MIDVALE CONDOMINIUM PLAT
LOCATION:	7682-7696 S. Center Square and 137 W. Park St.
APPLICANT:	Kirt Peterson/Horizon Development
FILE #:	SPR/CUP-21-25-482-019
REQUEST:	Preliminary Subdivision Plat
MEETING DATE:	January 13, 2016
ZONING DESIGNATION:	Transit Oriented Development (TOD)
AUTHOR:	Lesley Burns, City Planner
APPLICABLE ORDINANCE (S):	Title 16
AGENDA #:	1

SUMMARY:

On June 24, 2015, the Planning Commission approved a conditional use permit and preliminary site plan for The Station at Midvale project. Staff approved the Final Site Plan for the project on November 10, 2015. This project is located on the corner of Center Street, Center Square and Park Street. It includes 186 units in two buildings (one four stories; one five stories) with underground parking, surface parking, landscaping and recreation amenities. Curb, gutter and sidewalk improvements, including street trees and benches, along Center Square are part of the proposal, as well as bollard and curbing improvements at the north end of Center Square to close the road between Center Square and Park Street to vehicular traffic. This development proposal also included the review of a condominium (subdivision) plat which would allow each residential unit to be individually owned and the creation of a homeowners association to own and maintain all of the common areas inside the buildings as well as the property outside the buildings. The Planning Commission forwarded a recommendation to the City Council to approve this subdivision plat, and on November 10, 2015, the City Council approved the plat.

Due to some changes instigated by its financing partners, the Developer has submitted a revised condominium plat to replace the plat originally approved. Instead of providing for 186 individual residential units in two buildings and common area, the proposed revised plat provides for the individual ownership of each building (two units) and common area. The revised plat does not change the layout or unit configuration of the approved 186 unit residential project. The building footprints, landscaping, parking, recreation amenities, property management, etc. will remain as originally approved on the Final Site Plan and Conditional Use Permit. As part of this request, the developer has revised the Declaration that would be recorded with the condominium plat. This Declaration, as well as the common area on the plat, is intended to ensure the project functions as a whole with the individual ownership of each building and surrounding common area. Legal Staff is currently reviewing the Declaration document.

The proposed condominium plat reflects and is consistent with the approved Final Site Plan for the Station at Midvale Project. It provides for the individual ownership of each building (Building A to include 102 residential units with underground parking, and Building B to include 84 residential units with underground parking) and common area (shared ownership) for the remainder of the property, i.e. landscape areas, recreation amenities and surface parking areas. The proposed plat has been reviewed and approved by the City Engineer, and complies with the City's subdivision requirements.

All subdivisions require a review and recommendation from the Planning Commission and approval from the City Council. Public hearings are required to be held by each body.

STAFF RECOMMENDATION:

Based on compliance with the City's subdivision requirements and consistency with the approved Final Site Plan for the Station at Midvale Project, Staff recommends that the Planning Commission forwards a positive recommendation to the City Council to approve the Preliminary Subdivision Plat for the Station at Midvale Condominiums with the following conditions:

1. The applicant shall prepare a final subdivision plat to be reviewed and approved by the City Engineer and City Council.
2. The limited common area for balconies shown on Sheets 2-4 shall be added to Sheet 1.
3. The applicant shall prepare a declaration of covenants, conditions and restrictions, to ensure the project functions as a whole, and the common areas are appropriately maintained. This document shall be recorded concurrently with the subdivision plat.

RECOMMENDED MOTION:

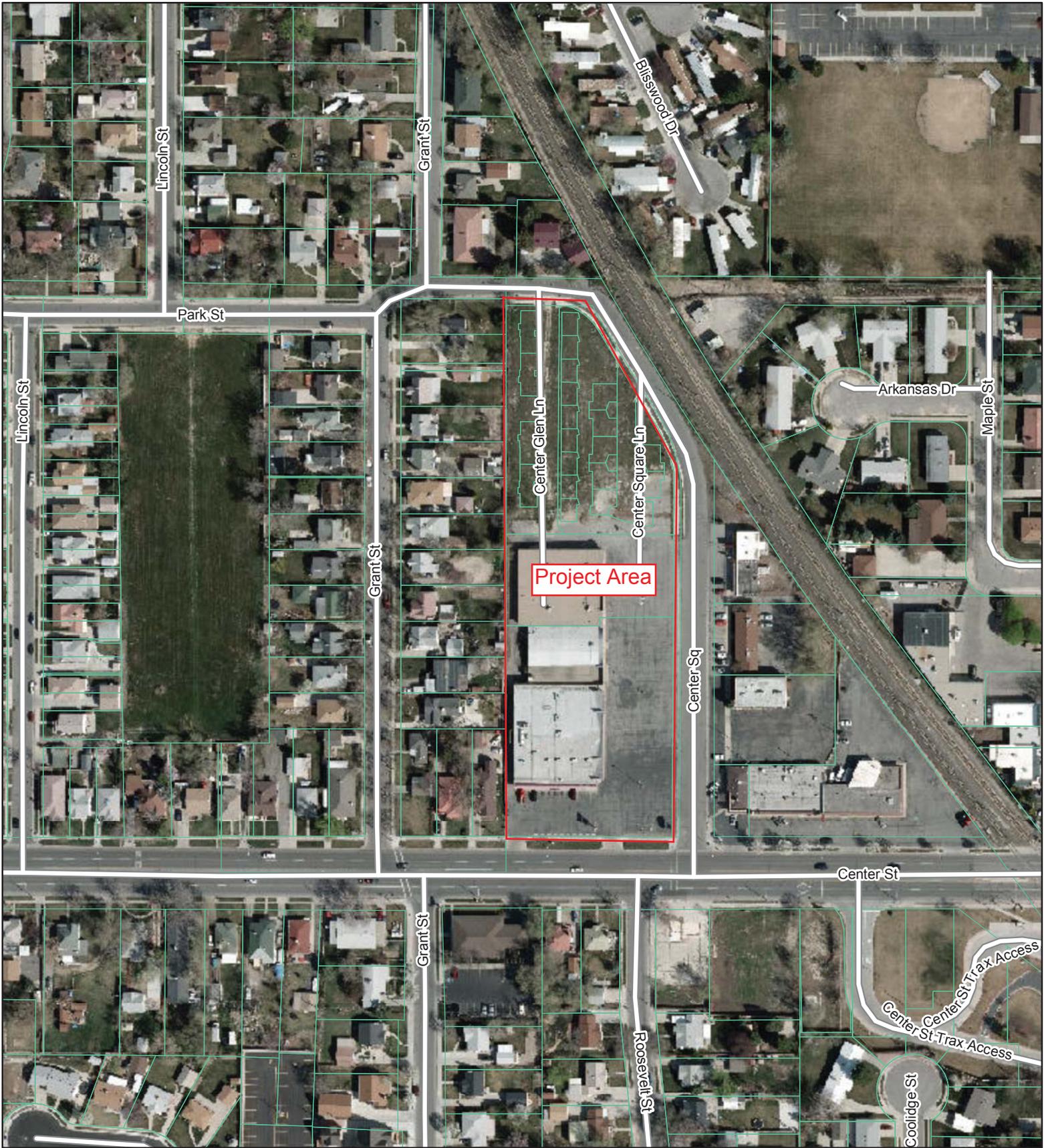
“Based on compliance with the City's subdivision requirements and consistency with the approved Final Site Plan for the Station at Midvale Project, I move that we forward a positive recommendation to the City Council to approve the Preliminary Subdivision Plat for the Station at Midvale Condominiums with the following conditions:

- 1. The applicant shall prepare a final subdivision plat to be reviewed and approved by the City Engineer and City Council.*
- 2. The limited common area for balconies shown on Sheets 2-4 shall be added to Sheet 1.*
- 3. The applicant shall prepare a declaration of covenants, conditions and restrictions, to ensure the project functions as a whole, and the common areas are appropriately maintained. This document shall be recorded concurrently with the subdivision plat.”*

ATTACHMENTS:

- Vicinity Map
- Project Site Plan
- Proposed Preliminary Subdivision Plat
- Request Narrative

PUBLIC NOTICE: No Yes



Station at Midvale
7682-7696 S. Center Square/137 W. Park St.

LANDSCAPE SPECIFICATIONS

- PART I - GENERAL**
- 1.1 SUMMARY**
- A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:
1. Topsoil and Soil Amendments
 2. Fine Grading
 3. Cultivation
 4. Landscape Edging
 5. Turf Laying
 6. Fertilizing and Irrigation Plans
 7. Maintenance
 8. Mowing
 9. Weeding

- 1.2 SITE CONDITIONS**
- A. Examination: Before submitting a bid, each Contractor shall carefully examine the Contract Documents, shall visit the site of the Work, shall fully inform themselves as to all existing conditions and limitations, and shall include in the bid the cost of all items required by the Contract Documents. If the Contractor observes that portions of the Contract Documents are at variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Manager and the necessary changes shall be accomplished by Addendum.
- B. Site Conditions: Landscape Contractor must examine the site conditions under which the work is to be performed and notify the Project Manager in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- C. Planting Conditions: The planting areas shall be free of water or debris deposited by other trades. Discrepancy from these conditions shall be reported to the Owner or their representative before beginning construction.
- D. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.
- E. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.
- F. Coordinations: The Landscape Contractor must coordinate with all other trades working on site to best facilitate progress on the job.

- 1.3 PLANT DELIVERY, QUALITY, AND AVAILABILITY**
- A. All plants procured for the project are to be tagged by the supplier nursery with the identification labels consistent with the specified plant names and project drawing identifiers. Drawing symbols and identifiers are used.
- B. Deliver trees and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 48 (6) hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap, or other acceptable means of retaining moisture.
- C. All plant material are to be inspected by the Project Manager at the time of delivery on site. This inspection does not constitute final acceptance of any plant material. All plant material will be inspected again at time of final inspection and once again at the end of the warranty period. Any plant found to be unacceptable at any of these inspections shall be immediately removed and replaced.
- D. Unrooted or unrooted plants shall not be accepted. If proof is submitted that specific plants or plant sites are unacceptable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.

- 1.4 MAINTENANCE**
- A. Plant Materials: The contractor is responsible to maintain all planted materials in a healthy and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-watering and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due to improper application of water.

- 1.5 FINAL INSPECTION**
- A. All plants will be inspected at the time of Final Inspection for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Manager will be rejected and replaced immediately.

- 1.6 GUARANTEE**
- A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. All replaced plants shall be guaranteed and maintained according to the specifications for another one year. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be considered in the guarantee.

PART II - PRODUCTS

- 2.1 LANDSCAPE MATERIALS**
- A. Plants: Plants shall be sound, healthy, vigorous, and free from pests and diseases. They shall be well branched, be in full leaf, have a healthy root system, and not be rootbound. All plants shall be nursery grown and conform to species and size specified. Do not prune or top prior to delivery. Conform to list of plant materials on drawings.
- B. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been out fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Do not use sod from any other source.

- C. Top Soil: Topsoil shall consist of natural sandy loam and be of uniform quality, free from subsoil, hard clods, soft clay, hardpan, sod, partially disintegrated debris, or any other undesirable material. Soil shall be free of plants, rocks or weeds that would be toxic or harmful to plants. Topsoil shall be obtained from naturally drained areas and shall contain at least 4 percent organic matter as determined by loss upon ignition of a moisture free sample that has been dried in accordance with current methods of the Association of Official Agricultural Chemists. Phosphate shall be 5.5 to 8.2 inclusive. The Contractor shall furnish a certified report of an analytical chemist approved by the Project Manager showing the analysis of the topsoil proposed for use. Furnish a sample of the proposed to the Project Manager prior to delivery of topsoil on site.
- D. Tree Staking: All trees not planted shall be replaced. Staked trees shall use vinyl tree ties and stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.
- E. Tree Wrap: Tree wrap is not used.

- 2.2 SOIL AMENDMENTS**
- A. Commercial Fertilizer: Complete fertilizer of neutral character, with some elements derived from organic sources, O-4-24-10, type 1 grade, 16-4-8-6, level B with guaranteed analysis marked on the container. Provide nitrogen in a form that will be available to lawn during its period of growth at least fifty (50) percent of nitrogen to be organic form. Adjust fertilization mixture to meet recommendations given by topsoil analysis.
- B. Peat: Peat, peat, sedge peat, moss peat (the shrubs only), need mulch or sedge mulch all comply with O-4-16-66, class B coarseness.
- C. Topsoil: Amend the top soil as necessary to meet requirements for topsoil under Section 2.1.C.
- D. Herbicides: EPA registered and approved, of type recommended by manufacturer.

- 2.3 SITE MATERIALS**
- A. Mulch: See Plans. All planter beds to receive a minimum 2" layer.
- B. Weed Barrier: Dewitt PRO-5 Weed Barrier, Manufactured by Dewitt Company, DewittCompany.com or approved equal.

PART III - EXECUTION

- 3.1 GRADING**
- A. Existing Site: Prior to the installation of any topsoil, the Contractor shall inspect the existing substrate for compliance to the plans and specifications. Any discrepancies shall be brought to the attention of the Project Manager for appropriate action.
- B. Subgrade: When contract operations have been completed to a point where the areas will not be disturbed, the Contractor shall clean the subgrade so as to be free of waste material of all kinds. Scarify and pulverize the subgrade to a depth of not less than four inches. Scarification shall be completed in all areas that are to receive plant materials whether it is to be sod, trees, groundcover or shrubs.
- C. Grading: Check planting areas as directed by Project Manager and according to the grading plans. Check existing grade prior to starting work. If rough grade will not allow the required topsoil depth before fine grading, contact Owner or their representative.
- D. Compaction: Compaction under hard surface areas (asphalt, pats and concrete surfaces shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

- 3.2 SOIL PREPARATION**
- A. Topsoil Preparation: Eliminate uneven areas and low spots. Remove debris, rocks, branches, stones, in excess of one half (1/2) inch in size while spreading topsoil. Place topsoil in planting areas as required to achieve a minimum depth of four (4) inches in turf and shrub bed areas. Limit excavation work around tree roots of trees to remain. Work with existing soils in these areas to reduce disturbances. Scarify subsoil to a two (2) inch depth to provide a transition zone between subgrade and topsoil. Provide for proper grading and drainage. Use topsoil in relatively dry state. Place during dry weather. Work soil in a manner which does not cause excessive compaction or create spots, which will not break down. Apply water as necessary to attain optimum moisture content of filling and planting.
- B. Topsoil Placement: Slope surfaces away from building at two (2) percent slope with no puddles of standing water. Establish final grade of lawn one (1) inch below grade of adjacent paved surfaces. Manually spread topsoil around existing trees and next to buildings to prevent damage. Lightly compact (roll) placed topsoil. Provide neat, smooth and uniform finish grades. Remove surplus subsoil and topsoil from the site.
- C. Soil Amendments and Weed Control: Apply Roundup equal to weeds in the soil areas. Apply herbicide, while plants are growing in a vigorous state for best results. After three (3) days repeat application of herbicide to weeds that are still alive and repeat until weeds have been killed. After weeds have been controlled, add soil amendments and fertilizers as required by top soil analysis and specifications. Incorporate amendments as per manufacturer's specifications into planting areas to a minimum of four (4) inch depth.

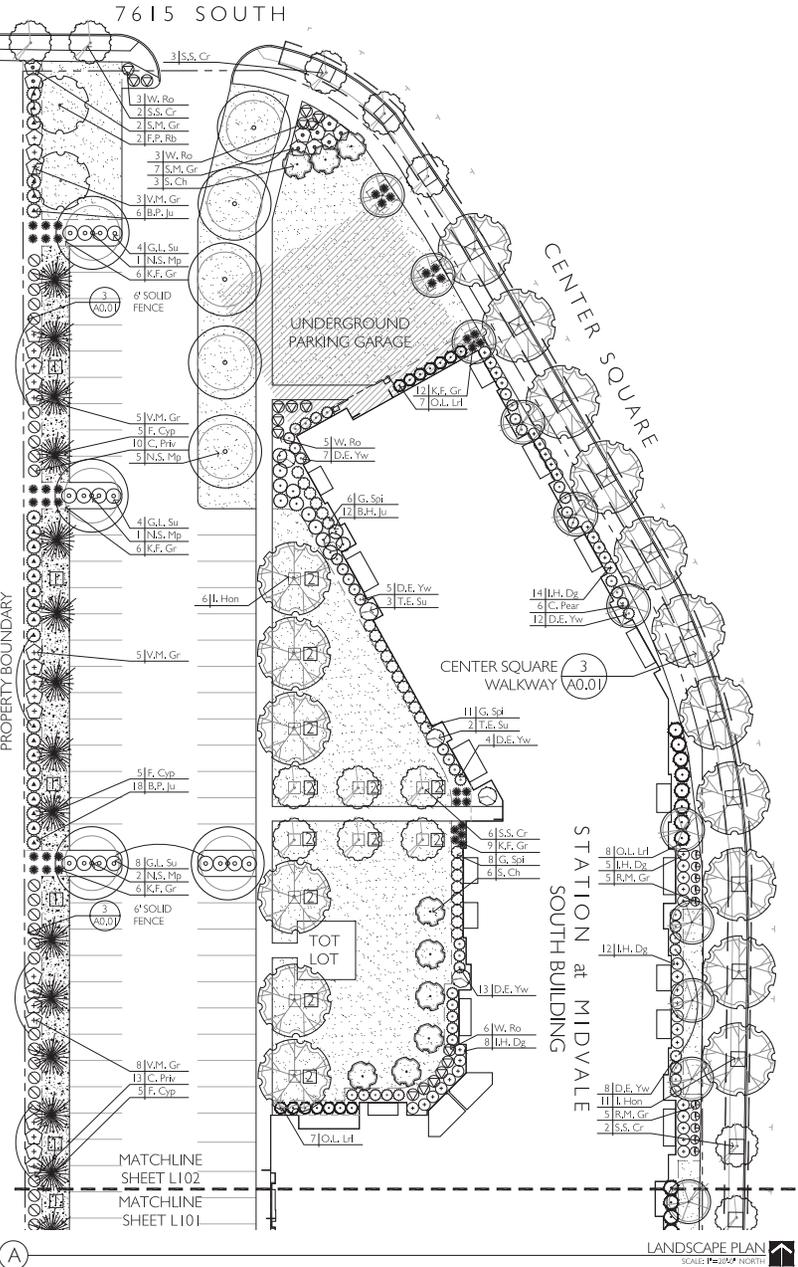
- 3.3 SOD GRADING**
- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all material larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, driveways, etc., prior to the laying of sod, shall be set such that the crown of the grass shall be the same level as the adjacent concrete or hard surface. No exceptions.

- 3.4 PLANTING OPERATIONS**
- A. Review the exact locations of all trees and shrubs with the Project Manager for approval prior to the digging of any holes. Refer to the drawings for the sizes and preparation of tree and shrub holes. Prepare all holes according to the details on drawings.

- A. To avoid a soil water interface problem, excavated soil material from the planting holes are to be inspected by the Project Manager to determine if such soil should be used as sod soil material. If it is determined that the excavated material is not of good quality, then it should be modified to an acceptable texture, organic content and pH.
- B. Prior to the installing of any plant material in the prepared hole, the Project Manager must approve the size, width, and depth of the hole.
- C. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.
- D. Before planting, locate all underground utilities prior to digging. Do not plant plants on or near utilities. Obtain a digging permit first and have the permit at the site.
- E. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball.
- F. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- G. The tree hole depth shall be determined so that the tree may be set slightly high of final grade. 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- H. Plant immediately after removal of container for container plants.
- I. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.
- J. All tree holes shall be backfilled in 12 inch lifts and settled with water to minimize any settling of the tree.
- K. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.
- L. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added, it should be a coarse mix as required to establish finish grade as indicated on the drawings.
- M. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and breaks shall be properly treated according to the direction of the Project Manager. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.
- N. Prepare a watering disk of 2" diameter around the trunk. For conifers, extend the watering disk to the drip line of the tree canopy. Place mulch around the planted trees.

- 3.5 SOD LAYING**
- A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.
- B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of 1/2 pound of nitrogen per 1,000 square feet. Repeat fertilizer every 30 days following final installation. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
- C. Sod Availability and Condition: The contractor shall satisfy himself as to the existing conditions prior to any construction. The contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so as to completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the contractor's responsibility to report such to the Project Manager prior to commencing the work.
- D. Sod Laying: The surface upon which the new sod is to be laid will be prepared as specified above. Areas where sod are to be laid shall be cut, trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.
- E. The sod shall be placed upon the prepared surface so that joints between courses are matched against the list below.
- F. Sod shall be tamper lightly as each piece is set to insure that good contact is made between edges and also the ground. Soil left on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.
- G. If 1/4" is required between sod seams, use a mixture of screened topsoil which has rocks no larger than 1/2" mixed with perlite eye grass seed.
- H. Apply water directly after laying sod. Rainfall is not acceptable.
- I. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner prior to acceptance by the owner. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system, it is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Manager.
- J. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with signs or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc. until such time as the lawn is accepted by the Owner.
- K. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

- 3.6 CLEAN AND PROTECT**
- A. Clean landscaped area: Remove rubbish, trash and debris resulting from the operation at the end of each work day and legally dispose of it off the Owner's property. Wash paved surfaces clean.
- B. Protect Landscapes: Protect landscaping from damage due to landscaped operations by other contractors and trades, and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.



STB DESIGN

LANDSCAPE ARCHITECTURE & LAND PLANNING

THE CLIFT BUILDING
10 WEST BROADWAY SUITE 400
SALT LAKE CITY, UTAH 84143
PH: (765) 551-5544 FAX: 551-5544
SCOTT@STBDESIGNLLC.COM

ISSUE NO.	DATE	
06/1/2013		
#	REV. DESCRIPTION	DATE

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THE STATION AT MIDVALE
MIDVALE, UTAH

FINAL SITE PLAN

LANDSCAPE PLAN

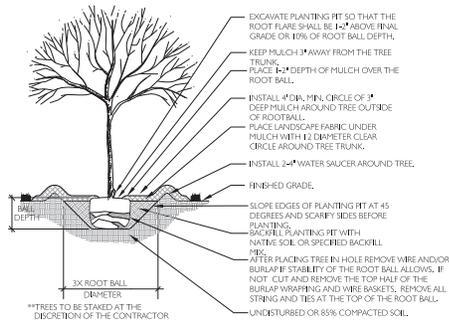
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LANDSCAPE TABULATIONS

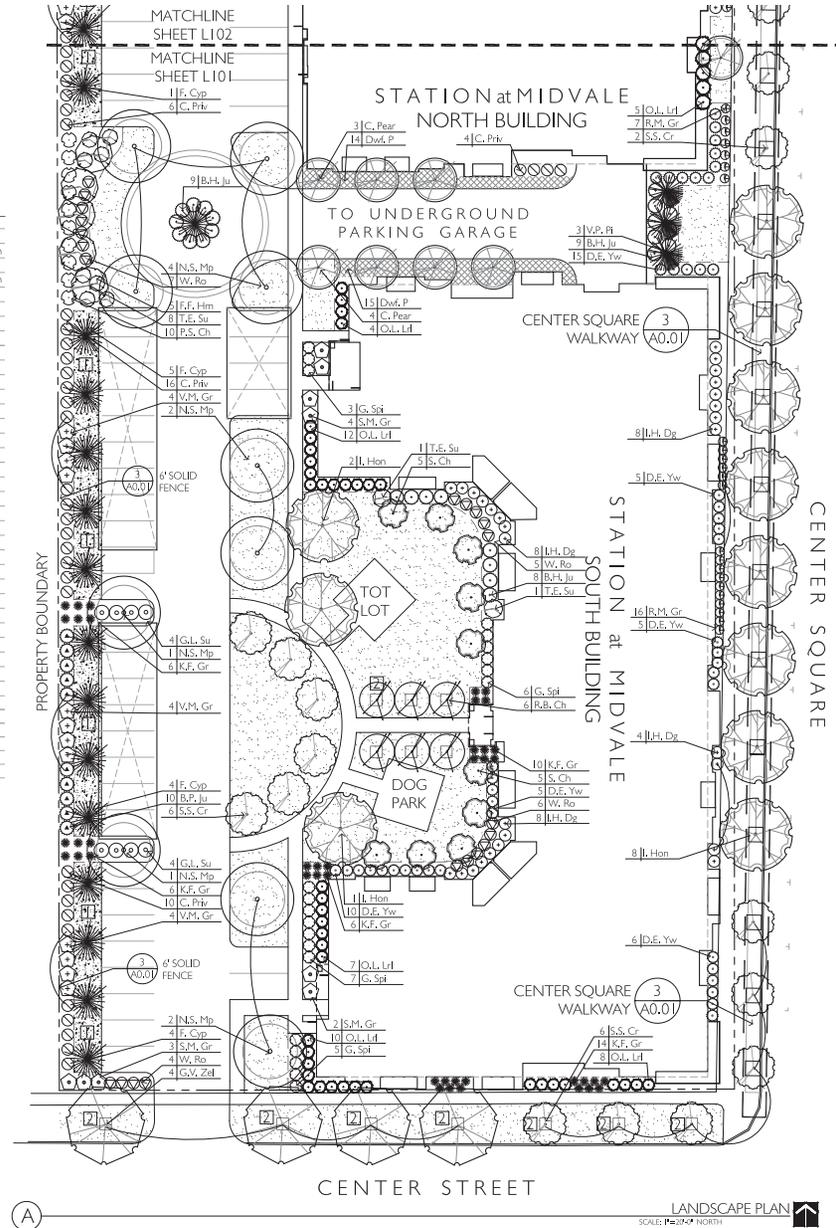
TOTAL SITE AREA	159,711 S.F.
TOTAL LANDSCAPE AREA	63,839 S.F. 40%
TOTAL TURF AREA	34,238 S.F. 53.6%
SITE TREES - REQ'D. (1400 S.F.)	159 TREES
SITE TREES - PROVIDED	159 TREES

LANDSCAPE SCHEDULE

Sym	Qty	Scientific Name	Common Name	Size	Spacing
TREES					
N.S. Mp	19	Acer truncatum x A. plat. 'Keltiform'	Norwegian Sunset Maple	2" Cal.	As Shown
F.F. Hm	5	Carpinus betulus 'Frano Fontaine'	Franc Fontaine Hornbeam	1 1/2" Cal.	1' P o.c.
F.P. Rb	2	Carax canadensis 'Forest Pansy'	Forest Pansy Reedbud	2" Cal.	As Shown
F. Cyp	29	Chamaecyparis nootkatensis 'Pendula'	Fake Cypress	8"	20' o.c.
L. Hon	28	Gleditsia tria. inermis 'Imperial'	Imperial Honeylocust	2" Cal.	30' o.c.
S.S. Cr	26	Malus 'Spring Snow'	Spring Snow Crabapple	2" Cal.	25' o.c.
V.P. Pi	3	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	6"	12' o.c.
R.B. Ch	6	Prunus serrulata 'Royal Burgundy'	Royal Burgundy Flowering Cherry	1 1/2" Cal.	18' o.c.
S. Ch	19	Prunus x hillieri 'Spire'	Spire Cherry	1 1/2" Cal.	18' o.c.
C. Pear	18	Pyrus Calleryana 'Chanticleer'	Chanticleer Pear	2" Cal.	18' o.c.
G.V. Zel	4	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2" Cal.	25' o.c.
SHRUBS					
I.H. Dw	67	Cornus alba 'Hallosel'	Ivory Halo Dogwood	2 Gal.	5' o.c.
R.P. Jun	34	Juniperus chinensis 'Blue Point'	Blue Point Juniper	5 Gal.	5' o.c.
B.H. Jun	38	Juniperus sabinia 'Bar Harbor'	Bar Harbor Juniper	2 Gal.	4' o.c.
C. Priv	59	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	2 Gal.	5' o.c.
O.L. Lit	68	Prunus laurocerasus 'Otto Luyken'	Purple Sand Cherry	5 Gal.	5' o.c.
G.L. Su	24	Rhus aromatica 'Grow Low'	Grow Low Sumac	2 Gal.	5' o.c.
T.E. Su	22	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	5 Gal.	5' o.c.
W. Ro	40	Rosa meiland 'White'	White Meikiland Rose	5 Gal.	4' o.c.
G. Spi	47	Spiraea bumalda 'Goldflame'	Goldflame Spirea	2 Gal.	4' o.c.
D.E. Yw	95	Taxus baccata repandens	Dwarf English Yew	2 Gal.	4' o.c.
ORNAMENTAL GRASSES					
K.F. Gr	81	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Feather Grass	1 Gal.	4' o.c.
R.M. Gr	33	Chasmanthium latifolium 'River Mist'	River Mist Sea Oats	1 Gal.	4' o.c.
S.M. Gr	18	Miscanthus sinensis 'Silensia'	Slender Maiden Grass	1 Gal.	8' o.c.
V.M. Gr	33	Miscanthus sinensis 'Variegatus'	Variegated Maiden Grass	1 Gal.	8' o.c.
GROUNDCOVERS					
D. Per	29	Vinca minor 'Bowles'	Dwarf Periwinkle	Flat/36	12" o.c.
TURF					
30,010 S.F.	Chanshare Imperial Blue	Sod			
23,453 S.F.	Decorative Gravel Mulch - 1" Crushed - All Planters Unless Noted Otherwise	4" Depth			
5,450 S.F.	Decorative Gravel Mulch - 2" Crushed	4" Depth			
MOWSTRIP					
	Metal 3/16" x 4" Black or Brown - All Planter Beds / Turf Interfaces				
	4" Square Tree Planter (All Other Trees in Turf to be 3" Dia. Metal Tree Rings)				



DECIDUOUS TREE PLANTING
NOT TO SCALE



LANDSCAPE PLAN
SCALE: 1/8" = 1'-0" NORTH



LANDSCAPE ARCHITECTURE & LAND PLANNING
THE CLIFT BUILDING
10 WEST BROADWAY SUITE 400
SALT LAKE CITY, UTAH 84111
PH: (313) 801.554 6146
SCOTT@STBDESIGNLLC.COM

ISSUE DESC.	DATE	
	06/17/2015	
#	REV. DESCRIPTION	DATE
1		
2		
3		
4		
5		

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THE STATION AT MIDVALE
MIDVALE, UTAH

FINAL SITE PLAN
LANDSCAPE PLAN

LI01



MATERIAL LEGEND

- BRICK - 21%
- STUCCO - 21%
- HARDI SIDING (BOARD AND BATTEN) - 14%
- CONCRETE - 0%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS - 41%
- CMU = 0%

1 BUILDING A - EAST ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK - 20%
- STUCCO - 24%
- HARDI SIDING (BOARD AND BATTEN) - 11%
- CONCRETE - 0%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS - 37%
- CMU = 8%

2 BUILDING A - SOUTH ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK = 17%
- STUCCO = 21%
- HARDI SIDING (BOARD AND BATTEN) = 12%
- CONCRETE = 7%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS = 36%
- CMU = 7%

3 BUILDING A - NORTH ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK = 20%
- STUCCO = 28%
- HARDI SIDING (BOARD AND BATTEN) = 12%
- CONCRETE = 0%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS = 26%
- CMU = 14%

4 BUILDING A - WEST ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK - 27%
- STUCCO - 19%
- HARDI SIDING (BOARD AND BATTEN) - 13%
- CONCRETE - 0%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS - 40%
- CMU = 1%

1 BUILDING B - EAST ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK - 23%
- STUCCO - 19%
- HARDI SIDING (BOARD AND BATTEN) - 11%
- CONCRETE - 9%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS - 38%
- CMU = 0%

2 BUILDING B - SOUTH ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK - 32%
- STUCCO - 4%
- HARDI SIDING (BOARD AND BATTEN) - 26%
- CONCRETE - 0%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS - 15%
- CMU = 23%

3 BUILDING B - NORTH ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)



MATERIAL LEGEND

- BRICK - 28%
- STUCCO - 21%
- HARDI SIDING (BOARD AND BATTEN) - 10%
- CONCRETE - 0%
- DECORATIVE STEEL AWNINGS / CORBELS
- WINDOWS / DOORS - 32%
- CMU = 9%

4 BUILDING B - WEST ELEVATION
 SCALE 1/8" = 1'-0" (24X36)
 SCALE 1/32" = 1'-0" (17X17)

Architecture Bolognini, Inc.
 1000 East 1000 South, Suite 100
 Salt Lake City, UT 84143
 Phone: 801.466.8888
 Email: info@architecturebolognini.com

The Station at Midvale
 Center Street and Center Square
 Midvale, Utah

DEVELOPER
 Horizon Development
 and Management
 Kim Peterson
 801-683-7366

Sheet Title
 Building B
 Elevations

Date
 May 28, 2015

Sheet Number

A-2.02





THE STATION AT MIDVALE CONDOMINIUMS

PART OF THE SOUTHEAST QUARTER OF SECTION 25,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASELINE AND MERIDIAN
MIDVALE, UTAH
(CONTAINING WITHDRAWABLE LAND)

NOTES

- Units: Building A: 102
Building B: 84
Total Units: 186
- See Sheets 2 & 3 for unit layouts, dimensions.
- See Sheet 3 for building cross section.
- See Sheet 4 for building elevations.

SURVEYOR'S CERTIFICATE

I, Briton G. Lyon, a Registered Land Surveyor, hold Certificate No. 275617, as prescribed by the laws of the State of Utah, and do hereby certify that by authority of the owners, I have made a survey of the tract of land shown on this plat, which is accurately described therein, and have subdivided said tract of land into units and streets to be hereafter known as The Station at Midvale Condominiums and that the same has been surveyed and staked on the ground as shown on this plat. I further certify that this map was prepared in accordance with Utah Law 57-8-1(1) and represents a true and accurate map of the land and buildings thereon to the best of my knowledge and belief.



BOUNDARY DESCRIPTION

Beginning at a point N 00°00'05" E 502.37 feet and S 89°52'55" W 1159.39 feet (Record 1159.34 feet) and N 00°07'05" W 49.07 feet and S 89°52'55" W 10.99 feet from the Southeast Corner of Section 25, Township 2 South, Range 1 West, Salt Lake Base and Meridian; said POINT OF BEGINNING lies on the northerly right of way line of Center Street and running:

thence S 89°52'55" W 231.48 feet along said northerly right of way line to the eastern boundary line of Malmstrom Subdivision as recorded as Entry No. 261419 in Book H Page 129 in the Official Salt Lake County Records;

thence N 00°07'05" W 741.11 feet along said eastern boundary line of Malmstrom Subdivision to the Southern right of way line of Park Street; thence along the Southwesterly Park Street right of way the next four courses:

- 1) thence N 89°52'55" E 82.32 feet;
- 2) thence 61.24 feet along a curve to the right with a radius of 75.00 feet (center bears S12°52'33"W), a central angle of 48°48'54" and a chord that bears S53°44'00"E 59.55 feet;
- 3) thence S 30°20'30" E 152.07 feet;
- 4) thence 71.61 feet along a curve to the right with a radius of 225.00 feet, a central angle of 18°14'09" and a chord that bears S21°13'25"E 71.31 feet;

thence S 00°00'14" E 507.86 feet along the west right of way line of Center Square Drive to the point of beginning, containing 3.84 acres

NOTES/NARRATIVE

1. The purpose of this survey was to create a condominium plat for the subject property. The survey was requested by Kirt Peterson.
2. The basis of bearing is S89°52'55"W between the street monument at the intersection of Center and State Street and the intersection of Center Street and Jefferson Street.
3. The plat and survey control for Center Square P.L.D. No. 1 was used to re-establish the boundary.
4. All common and limited common areas are considered to be an easement for all utility, irrigation and drainage purposes. This includes the ingress/egress area.
5. All patios, decks and balconies on each unit contained within the project are considered limited common areas. They are set aside and reserved for the use of the respective unit to which they are attached and/or appurtenant.
6. All areas contained within the project, but not shown with diagonal stripes or shading or public streets are considered common area, including parking, private streets, storm water detention and drainage easement area.

OWNERS DEDICATION

Know all by these presents that the undersigned: The Station at Midvale II, LLC, a Utah Limited Liability Company, owner of the above-described tract of land, have caused the same to be surveyed and a condominium plat to be prepared and do hereby consent to the recording of this plat in accordance with the Utah Condominium Ownership Act.

In witness whereof, we have hereunto set our hands this ____ day of _____, 2015.

Manager

ATTEST:

ACKNOWLEDGEMENT

STATE OF UTAH
COUNTY OF _____

On this ____ day of _____, A.D. 20____, personally appeared before me _____, A.D. 20____, Manager of The Station at Midvale II, LLC, who, being by me duly sworn, did say for himself that he is the Manager of The Station at Midvale II, LLC, a Utah limited liability company, and that the within and foregoing instrument was signed on behalf of said LLC by authority of its Articles of Organization and he duly acknowledged to me that said Limited Liability Company executed the same

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING AT _____

THE STATION AT MIDVALE CONDOMINIUMS

PART OF THE SOUTHEAST QUARTER OF SECTION 25,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASELINE AND MERIDIAN
MIDVALE, UTAH
(CONTAINING WITHDRAWABLE LAND)

SALT LAKE COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR
RECORD AND RECORDED _____ AT _____ IN BOOK
_____ OF OFFICIAL RECORDS, PAGE _____
RECORDED FOR _____

SALT LAKE COUNTY RECORDER
BY: _____ DEPUTY

SCALE: 1"=40' (24x36 PLAN SET)

LEGEND

	BUILDING A (PRIVATE/UNIT)
	BUILDING A (LIMITED COMMON)
	BUILDING B (PRIVATE/UNIT)
	BUILDING B (LIMITED COMMON)
	COMMON ELEMENTS

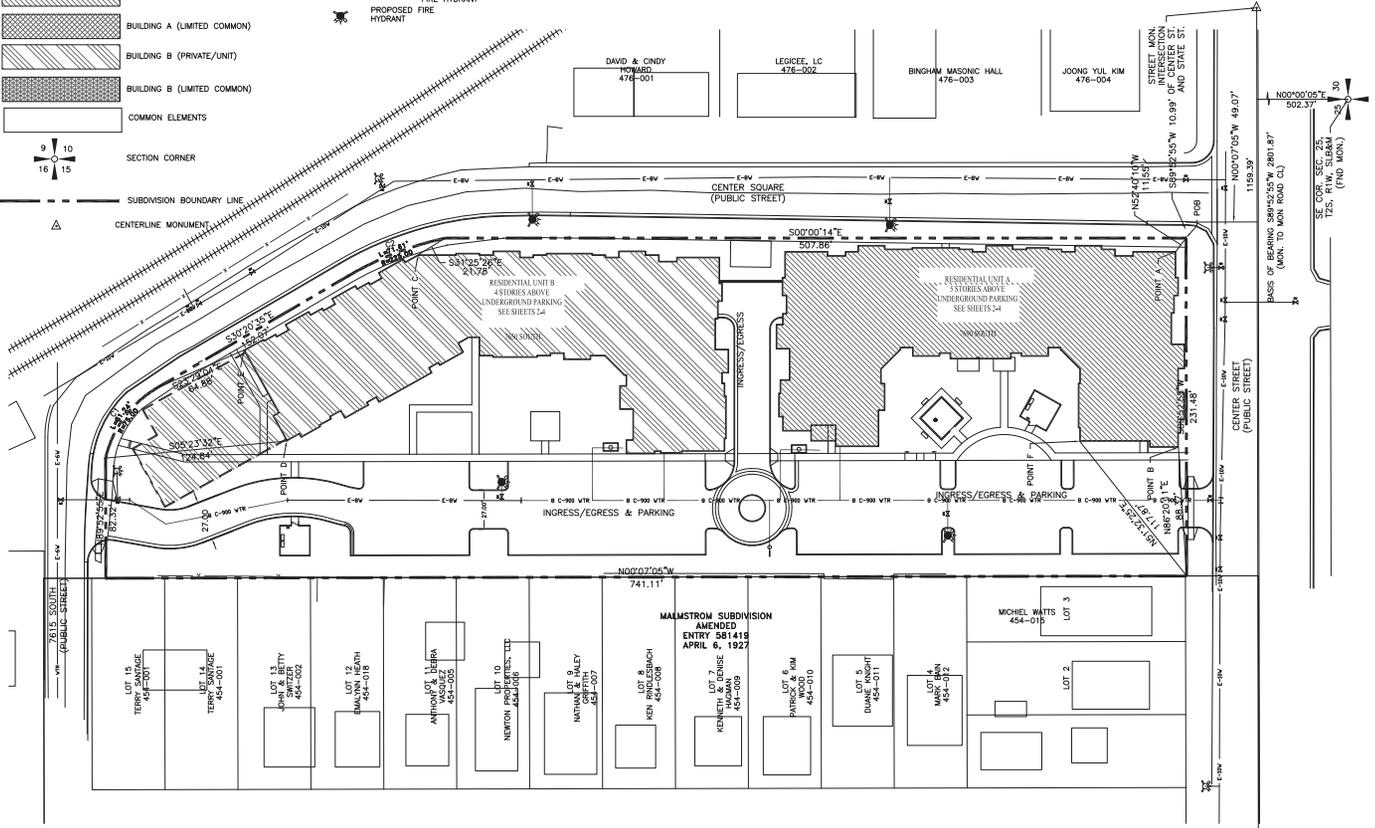
SECTION CORNER: 9/10, 16/15

SUBDIVISION BOUNDARY LINE

CENTERLINE MONUMENT

EXISTING WATER/FIRE HYDRANT

PROPOSED FIRE HYDRANT



CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	61.24	75.00	48°48'54"	N53°44'00"W	59.55
C2	71.61	225.00	18°14'09"	N21°13'25"W	71.31

OWNER/APPLICANT:
STATION AT MIDVALE II, LLC
1466 NORTH HWY 89, STE 220
FARMINGTON, UTAH 84025

ALLIANCE CONSULTING ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
(435)755-5121
alliancece@aol.com

BOARD OF HEALTH
APPROVED THIS ____ DAY OF _____, 20____.

DIRECTOR, SALT LAKE VALLEY HEALTH DEPARTMENT

CITY PLANNING COMMISSION
APPROVED THIS ____ DAY OF _____, 20____.

CHAIRMAN, MIDVALE CITY PLANNING COMMISSION

CITY COUNCIL APPROVAL AND ACCEPTANCE
Presented to the Midvale City Council this ____ day of _____, A.D., 20____, at which time this subdivision was approved and accepted.

Mayor _____ Date _____

CITY ENGINEER APPROVAL
APPROVED THIS ____ DAY OF _____, 20____ BY _____

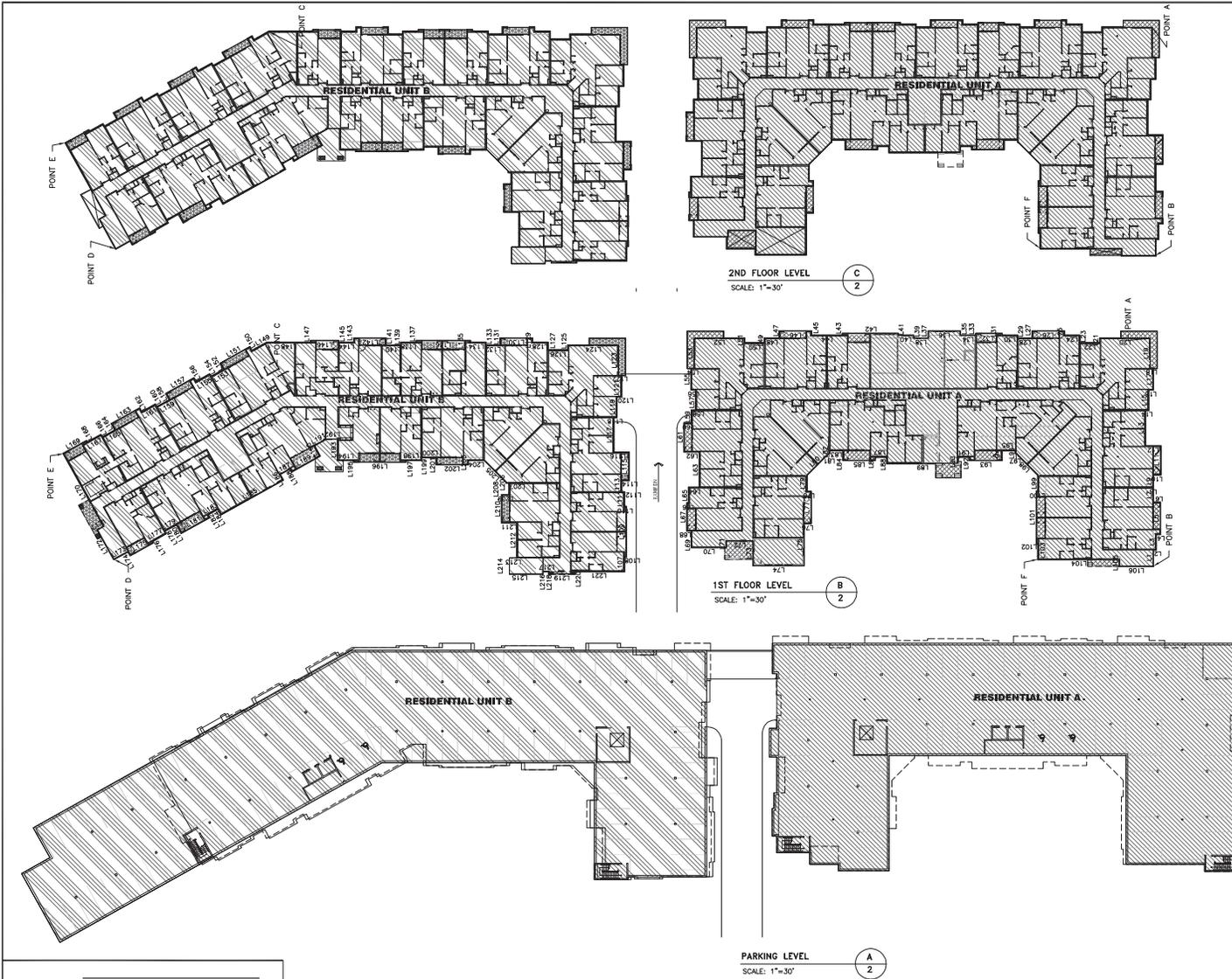
MIDVALE CITY ENGINEER

APPROVAL AS TO FORM
Approved as to form this ____ day of _____, A.D., 20____.

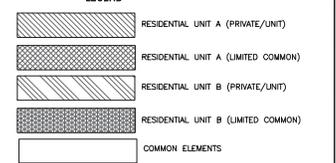
City Attorney _____

SHEET 1
OF 4

Date: Dec 19, 2015



LINE TABLE					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	9.71	N89°00'00"E	L81	0.46	S00°00'00"W
L2	1.87	S00°00'00"E	L82	1.66	N89°00'00"E
L3	9.17	N89°00'00"E	L83	8.08	S00°00'00"E
L4	2.50	S00°00'00"E	L84	4.18	N89°00'00"E
L5	18.87	N89°00'00"E	L85	18.79	S00°00'00"E
L6	4.18	N89°00'00"E	L86	2.50	N89°00'00"E
L7	8.75	S00°00'00"E	L87	6.96	S00°00'00"E
L8	0.01	S00°00'00"E	L88	3.79	N89°00'00"E
L9	7.50	N89°00'00"E	L89	4.18	N89°00'00"E
L10	4.34	N89°00'00"E	L90	3.79	S00°00'00"E
L11	16.92	N89°00'00"E	L91	6.85	S00°00'00"E
L12	9.01	N89°00'00"E	L92	2.50	N89°00'00"E
L13	21.08	N89°00'00"E	L93	18.79	S00°00'00"E
L14	1.83	S00°00'00"E	L94	8.62	N89°00'00"E
L15	11.96	N89°00'00"E	L95	8.08	S00°00'00"E
L16	2.83	S00°00'00"E	L96	1.85	N89°00'00"E
L17	12.58	N89°00'00"E	L97	0.46	S00°00'00"E
L18	1.83	N89°00'00"E	L98	18.22	S48°00'00"W
L19	17.77	N89°00'00"E	L99	8.71	S89°50'10"W
L20	29.50	N89°00'00"E	L100	1.00	N00°00'00"E
L21	2.82	N89°00'00"E	L101	30.87	N89°00'00"E
L22	11.96	N89°00'00"E	L102	1.00	S00°00'00"E
L23	4.50	N89°00'00"E	L103	9.12	N89°00'00"E
L24	9.17	N89°00'00"E	L104	47.86	S00°00'00"E
L25	2.50	N89°00'00"E	L105	4.11	N89°00'00"E
L26	18.87	N89°00'00"E	L106	18.79	S00°00'00"E
L27	4.18	N89°00'00"E	L107	8.54	N89°00'00"E
L28	8.75	N89°00'00"E	L108	1.00	S00°00'00"E
L29	1.88	N89°00'00"E	L109	29.50	N89°00'00"E
L30	9.12	N89°00'00"E	L110	1.00	N00°00'00"E
L31	1.00	N89°00'00"E	L111	8.71	N89°00'00"E
L32	15.39	N89°00'00"E	L112	1.87	N00°00'00"E
L33	1.00	N89°00'00"E	L113	6.83	N89°00'00"E
L34	9.25	N89°00'00"E	L114	4.34	S00°00'00"E
L35	2.50	N89°00'00"E	L115	16.29	N89°00'00"E
L36	18.87	N89°00'00"E	L116	9.01	N89°00'00"E
L37	4.18	N89°00'00"E	L117	20.75	N89°00'00"E
L38	8.75	N89°00'00"E	L118	1.83	S00°00'00"E
L39	1.88	N89°00'00"E	L119	11.96	N89°00'00"E
L40	9.12	N89°00'00"E	L120	2.83	S00°00'00"E
L41	1.00	N89°00'00"E	L121	12.58	N89°00'00"E
L42	32.87	N89°00'00"E	L122	1.83	N00°00'00"E
L43	1.00	N89°00'00"E	L123	17.77	N89°00'00"E
L44	18.37	N89°00'00"E	L124	29.50	N00°00'00"E
L45	2.50	N89°00'00"E	L125	2.82	N89°00'00"E
L46	18.87	N89°00'00"E	L126	1.96	N89°00'00"E
L47	4.18	N89°00'00"E	L127	4.50	N89°00'00"E
L48	8.87	N89°00'00"E	L128	9.17	N89°00'00"E
L49	2.82	N89°00'00"E	L129	2.50	N89°00'00"E
L50	11.96	N89°00'00"E	L130	18.87	N89°00'00"E
L51	2.82	N89°00'00"E	L131	4.18	N89°00'00"E
L52	29.50	N89°00'00"E	L132	8.75	N89°00'00"E
L53	17.77	N89°00'00"E	L133	1.68	N89°00'00"E
L54	1.83	N89°00'00"E	L134	9.12	N00°00'00"E
L55	12.58	N89°00'00"E	L135	1.00	N89°00'00"E
L56	2.83	S00°00'00"E	L136	31.67	N89°00'00"E
L57	12.04	N89°00'00"E	L137	1.00	N89°00'00"E
L58	2.50	N89°00'00"E	L138	9.17	N89°00'00"E
L59	7.50	N89°00'00"E	L139	1.88	N89°00'00"E
L60	4.34	N89°00'00"E	L140	8.71	N89°00'00"E
L61	16.92	N89°00'00"E	L141	4.18	N89°00'00"E
L62	9.01	S00°00'00"E	L142	18.87	N00°00'00"E
L63	21.08	N89°00'00"E	L143	2.82	N89°00'00"E
L64	6.33	N89°00'00"E	L144	4.18	N89°00'00"E
L65	9.12	N89°00'00"E	L145	1.00	N89°00'00"E
L66	1.00	N89°00'00"E	L146	16.38	N00°00'00"E
L67	16.39	N89°00'00"E	L147	1.00	N89°00'00"E
L68	2.88	S00°00'00"E	L148	25.77	N89°00'00"E
L69	9.71	N89°00'00"E	L149	10.17	N89°00'00"E
L70	20.25	S00°00'00"E	L150	2.50	N89°00'00"E
L71	3.79	S88°00'00"E	L151	19.87	N89°00'00"E
L72	15.80	S00°00'00"E	L152	4.17	S88°54'10"W
L73	14.44	N89°00'00"E	L153	8.75	N89°00'00"E
L74	29.82	S00°00'00"E	L154	1.87	N89°00'00"E
L75	2.75	N89°00'00"E	L155	9.17	N89°00'00"E
L76	4.18	S00°00'00"E	L156	2.50	N89°00'00"E
L77	18.87	N89°00'00"E	L157	18.87	N89°00'00"E
L78	2.50	N89°00'00"E	L158	4.18	S88°54'10"W
L79	9.71	S88°50'10"E	L159	8.71	N89°00'00"E
L80	16.22	S48°00'00"E	L160	1.88	N89°00'00"E



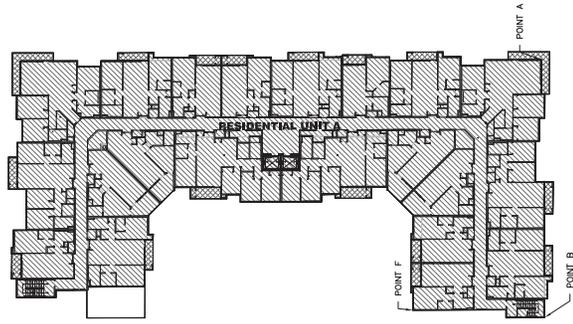
THE STATION AT MIDVALE CONDOMINIUMS
 PART OF THE SOUTHEAST QUARTER OF SECTION 25,
 TOWNSHIP 2 SOUTH, RANGE 1 WEST,
 SALT LAKE BASELINE AND MERIDIAN
 MIDVALE, UTAH

SALT LAKE COUNTY RECORDER
 ENTRY NO. _____ FEE PND _____ FILED FOR
 RECORD AND RECORDED _____ AT _____ IN BOOK
 _____ OF OFFICIAL RECORDS, PAGE _____
 RECORDED FOR _____
 SALT LAKE COUNTY RECORDER
 BY _____ DEPUTY

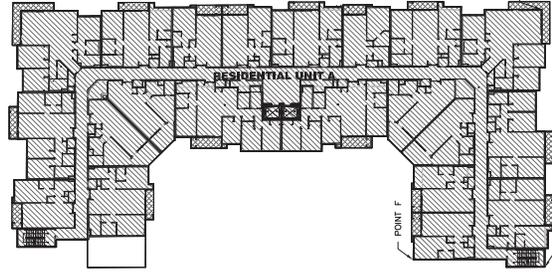
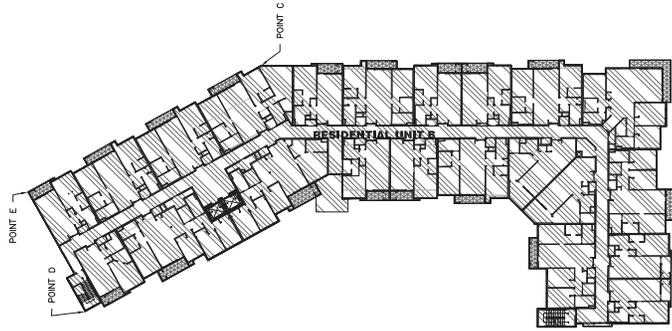
ACE ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321
 (435)755-5121
 alliancelogan@yahoo.com

SHEET 2
 OF 4

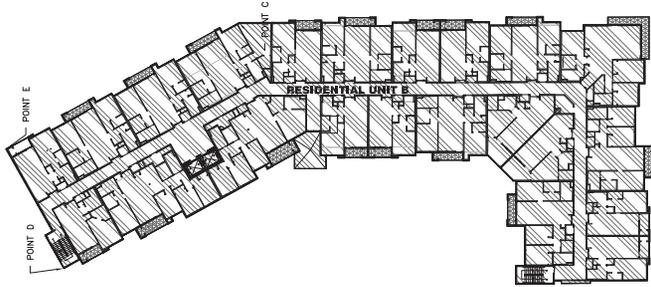
Date: Dec. 19, 2015



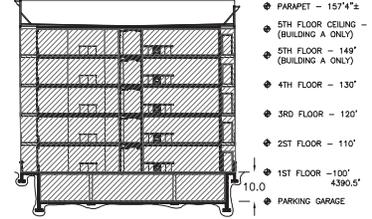
5TH FLOOR LEVEL
SCALE: 1"=30'



4TH FLOOR LEVEL
SCALE: 1"=30'

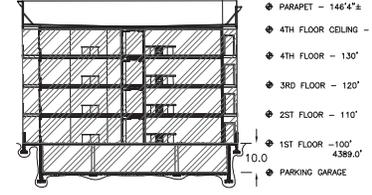


3RD FLOOR LEVEL
SCALE: 1"=30'



RESIDENTIAL UNIT A
CROSS SECTION
SCALE: 1"=20'

- ◆ PARAPET - 157'4"
- ◆ 5TH FLOOR CEILING - (BUILDING A ONLY)
- ◆ 5TH FLOOR - 148' (BUILDING A ONLY)
- ◆ 4TH FLOOR - 130'
- ◆ 3RD FLOOR - 120'
- ◆ 2ST FLOOR - 110'
- ◆ 1ST FLOOR - 100' 4390.5'
- ◆ 10.0'
- ◆ PARKING GARAGE



RESIDENTIAL UNIT B
CROSS SECTION
SCALE: 1"=20'

- ◆ PARAPET - 146'4"
- ◆ 4TH FLOOR CEILING - 139'
- ◆ 4TH FLOOR - 130'
- ◆ 3RD FLOOR - 120'
- ◆ 2ST FLOOR - 110'
- ◆ 1ST FLOOR - 100' 4389.0'
- ◆ 10.0'
- ◆ PARKING GARAGE

LEGEND

	RESIDENTIAL UNIT A (PRIVATE/UNIT)
	RESIDENTIAL UNIT A (LIMITED COMMON)
	RESIDENTIAL UNIT B (PRIVATE/UNIT)
	RESIDENTIAL UNIT B (LIMITED COMMON)
	COMMON ELEMENTS

**THE STATION AT MIDVALE
CONDOMINIUMS**

PART OF THE SOUTHEAST QUARTER OF SECTION 25,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASELINE AND MERIDIAN
MIDVALE, UTAH

SALT LAKE COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____ FILED FOR
RECORD AND RECORDED _____ AT _____ IN BOOK
_____ OF OFFICIAL RECORDS, PAGE _____
RECORDED FOR _____

SALT LAKE COUNTY RECORDER
BY: _____ DEPUTY

ACE ALLIANCE CONSULTING
ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
(435)755-5121
alliancelogan@yahoo.com

SHEET 3
OF 4

Date: Dec. 19, 2015



-  RESIDENTIAL UNIT A (PRIVATE/UNIT)
-  RESIDENTIAL UNIT A (LIMITED COMMON)
-  RESIDENTIAL UNIT B (PRIVATE/UNIT)
-  RESIDENTIAL UNIT B (LIMITED COMMON)
-  COMMON ELEMENTS

RESIDENTIAL UNIT A ELEVATION A
4
SCALE: 1"=20'



RESIDENTIAL UNIT B ELEVATION B
4
SCALE: 1"=20'

**THE STATION AT MIDVALE
CONDOMINIUMS**
PART OF THE SOUTHEAST QUARTER OF SECTION 25,
TOWNSHIP 2 SOUTH, RANGE 1 WEST,
SALT LAKE BASELINE AND MERIDIAN
MIDVALE, UTAH

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RECORDED FOR _____
SALT LAKE COUNTY RECORDER
BY: _____ DEPUTY

SHEET 4
OF 4

Date: Dec. 19, 2015

ACE ALLIANCE CONSULTING
ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
(435)755-5121
alliance@logan@yahoo.com



December 23, 2015

Lesley Burns
City Planner
Midvale City
7505 South Holden Street
Midvale, Utah 84047

RE: Station at Midvale Condominium

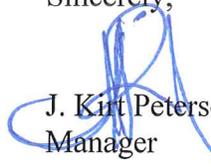
Ms. Burns,

I want to provide you with a brief explanation of our request to modify the Station at Midvale Condominium plat. The original plat, containing two buildings and 186 units, was approved by Midvale City Council on November 10, 2015. It has been our normal practice to condominiumize each unit within our developments and for this reason we requested and received approval for this structure from Midvale City. However, due to altered changes by our financing partners we are being required to modify the plat structure where each building will be a single unit and the new plat will be a two condominium plat.

We submitted the new plat to you this week. There are no other changes to the new plat from the previous plat which was approved. The building footprint, dimensions, size, layout, landscaping, parking, colors, ownership, management, and all other components of the project, are identical to the previously approved plat. The only difference is that the number of condominium units is reduced from 186 to 2. Building A will be one unit and Building B will be the second unit.

Should you have any question please do not hesitate to contact my office.

Sincerely,


J. Kirt Peterson
Manager

Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION:	ROYAL TINTING, INC.
LOCATION:	7174 South 400 West, #6
APPLICANT:	Nate Welker
FILE #:	CUP-21-25-127-015
REQUEST:	CUP FOR VEHICLE-RELATED USE
MEETING DATE:	Wednesday, January 13, 2016
ZONING DESIGNATION:	Clean Industrial (CI)
AUTHOR:	Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S):	MMC Chapter 17-3-4, Chapter 17-7-13.2, Chapter 17-7-13.9
AGENDA #:	2

SUMMARY:

Royal Tinting, Inc. represented by Nate Welker, is requesting a Conditional Use Permit in order to operate a vehicle related use at 7174 South 400 West, #6 within the Clean Industrial (CI) Zone. The vehicle related use includes the application of vinyl materials on vehicles such as window tinting, clear paint protection, vehicle signs, pin striping, etc. Royal Tinting sells and installs their product on-site and provides a mobile service to customers, as well. This business also includes the sale and installation of window tinting for commercial businesses and residential properties. The operation will include two employees and is proposing to operate Tuesday through Saturday from 9:00 a.m. to 5:00 p.m., with Sunday and Monday proposed to be by appointment only. The application of the vinyl product can be comparable to a large sticker being applied using dish soap and rubber squeegees. All on-site vehicle work will occur inside the shop area, which can accommodate four to five vehicles at any one time. Most vehicles are picked up within a few hours of the work being completed and the applicant anticipates servicing, at the most, ten vehicles per day.

This business will occupy one of six tenant spaces located in a new office/warehouse building along 400 West. The proposed tenant space includes approximately 2,980 square feet; 680 square feet dedicated to reception/office space, break room, and lavatories; and 2,300 square feet of shop/warehousing space. This development has a total of 44 parking spaces; whereupon each tenant space were allocated approximately 7.5 parking spaces; leaving 2 additional stalls as shared parking space. This specific tenant space has 2 parking stalls adjacent to the entrance door and 5 to 6 stalls across the driveway aisle, adjacent to the South property line.

This proposal is located within the Clean Industrial (CI) zone, which requires a Conditional Use Permit for a vehicle-related use. In order to approve a Conditional Use Permit, the following applicable criteria must be satisfied:

1. The application complies with all applicable provisions of the zoning ordinance, state and federal law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the Midvale City General Plan, as amended;

5. Traffic conditions are not adversely effected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in §17-7-13.7;
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses; and
10. Exterior lighting that complies with the lighting standards of the zone and is designed to minimize conflict and light trespass with surrounding uses.

In reviewing this application and the above criteria, it appears a vehicle related use will not be detrimental to surrounding uses and future proposed tenants, provided the parking requirements and remaining tenant spaces can be reviewed and determined to be in compliance. Based on the size and type of use, six parking spaces are required, as well as sufficient parking for vehicles waiting to be picked up or serviced. All improvements exist, with sufficient utility capacity and emergency vehicle access. As part of the business license review, all Building and Fire Code requirements shall be addressed and satisfied. There are also no proposed hazardous chemicals utilized with this use that will require special disposal. Staff does not anticipate any additional impacts being created by this proposed use, provided the business is operated in accordance with this proposal.

STAFF RECOMMENDATION:

Based on the proposal's compliance with the Conditional Use Permit criteria and the above analysis, Staff would recommend that the Planning Commission approve the Conditional Use Permit for Royal Tinting, Inc. to be located at 7174 South 400 West, Unit #6 with the following conditions:

1. All on-site work shall occur inside the shop area of the tenant space.
2. All vehicles related to the business shall be parked in designated parking stalls at all times. The applicant shall ensure that the scheduling of on-site vehicle work is done in such a manner as to not exceed the available parking.
3. Any vehicles remaining at the business overnight shall be stored inside the shop area.
4. Vehicle repair is not included as part of this approval.
5. The applicant shall obtain and maintain a Midvale City Business License in order to operate at this location.
6. All signage shall comply with sign requirements for the Clean Industrial Zone and sign permits obtained before any signage is installed.

RECOMMENDED MOTION:

“Based on the proposal's compliance with the Conditional Use Permit, I move to approve the Conditional Use Permit for Royal Tinting, Inc. to be located at 7174 South 400 West, Unit #6 with the following conditions:

1. *All on-site work shall occur inside the shop area of the tenant space.*
2. *All vehicles related to the business shall be parked in designated parking stalls at all times. The applicant shall ensure that the scheduling of on-site vehicle work is done in such a manner as to not exceed the available parking.*
3. *Any vehicles remaining at the business overnight shall be stored inside the shop area.*
4. *Vehicle repair is not included as part of this approval.*
5. *The applicant shall obtain and maintain a Midvale City Business License in order to operate at this location.*
6. *All signage shall comply with sign requirements for the Clean Industrial Zone and sign permits obtained before any signage is installed.”*

ADJACENT LAND USES:

North: Clean Industrial (commercial uses)

South: Clean Industrial (commercial and industrial uses)

East: Clean Industrial (commercial uses)

West: State Street Commercial (commercial uses)

ATTACHMENTS:

- Vicinity Map
- Site Plan
- Submittal Documents

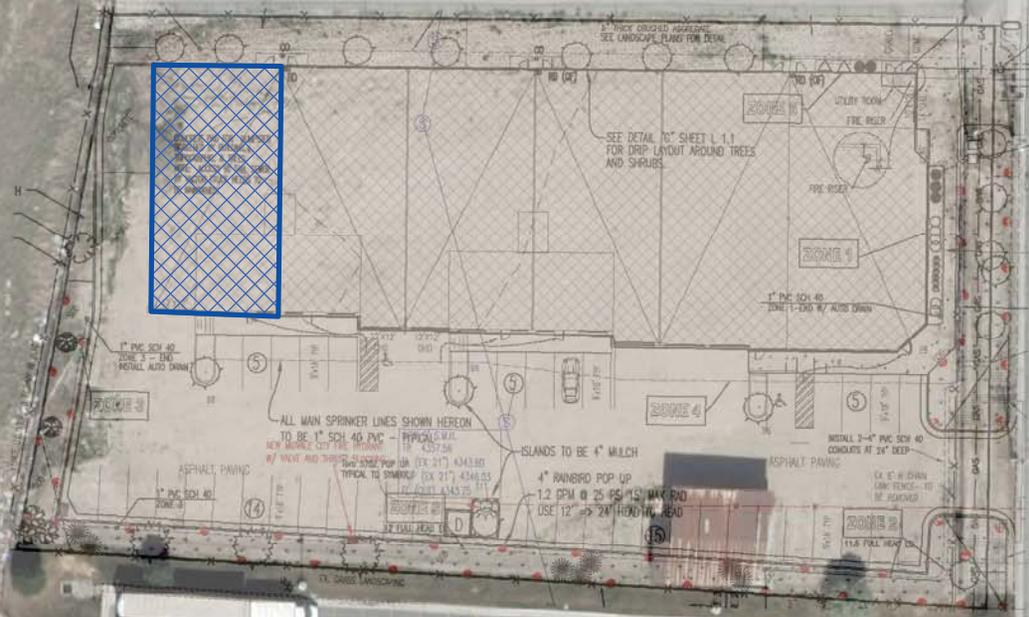
PUBLIC NOTICE: No Yes

I-15 Nb To I-215S

I-15 Nb 7200 Wb On Ramp

7200 S

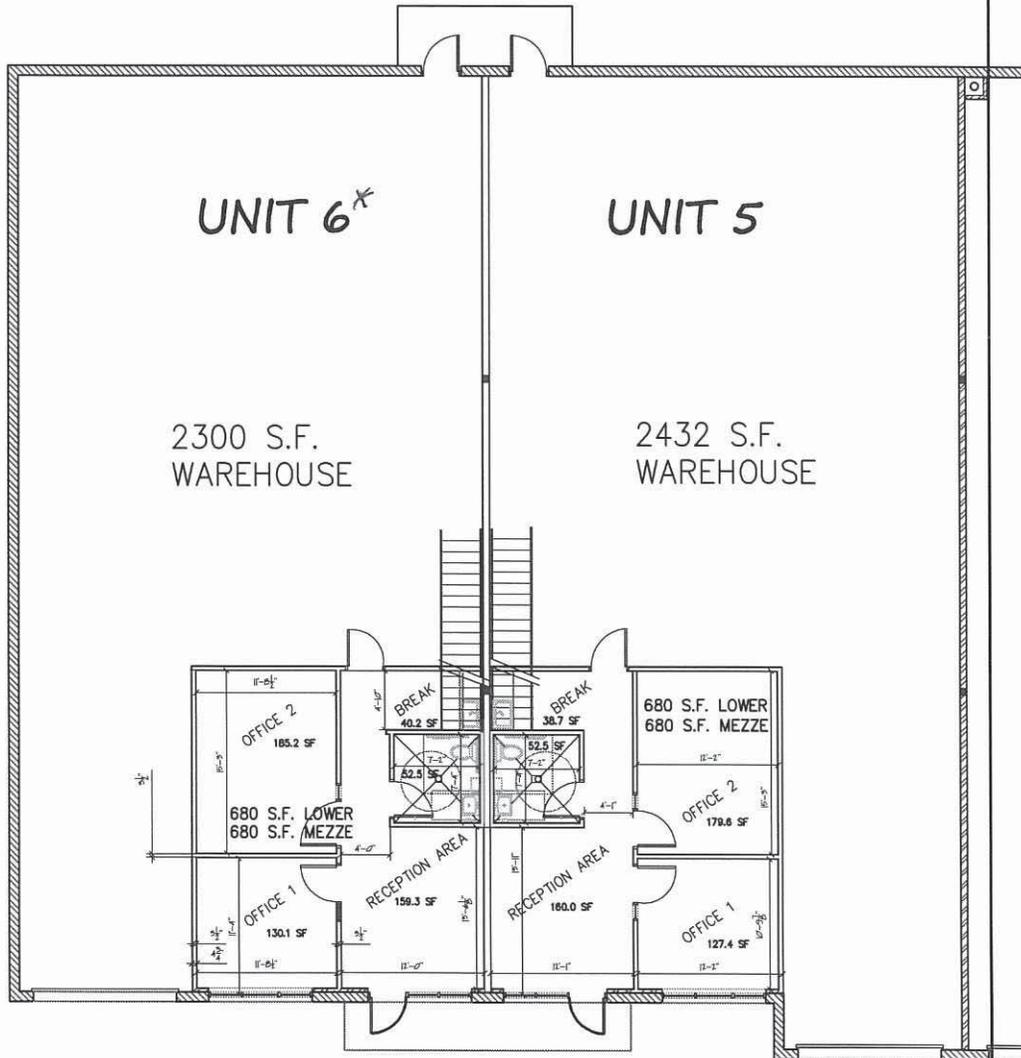
400 W



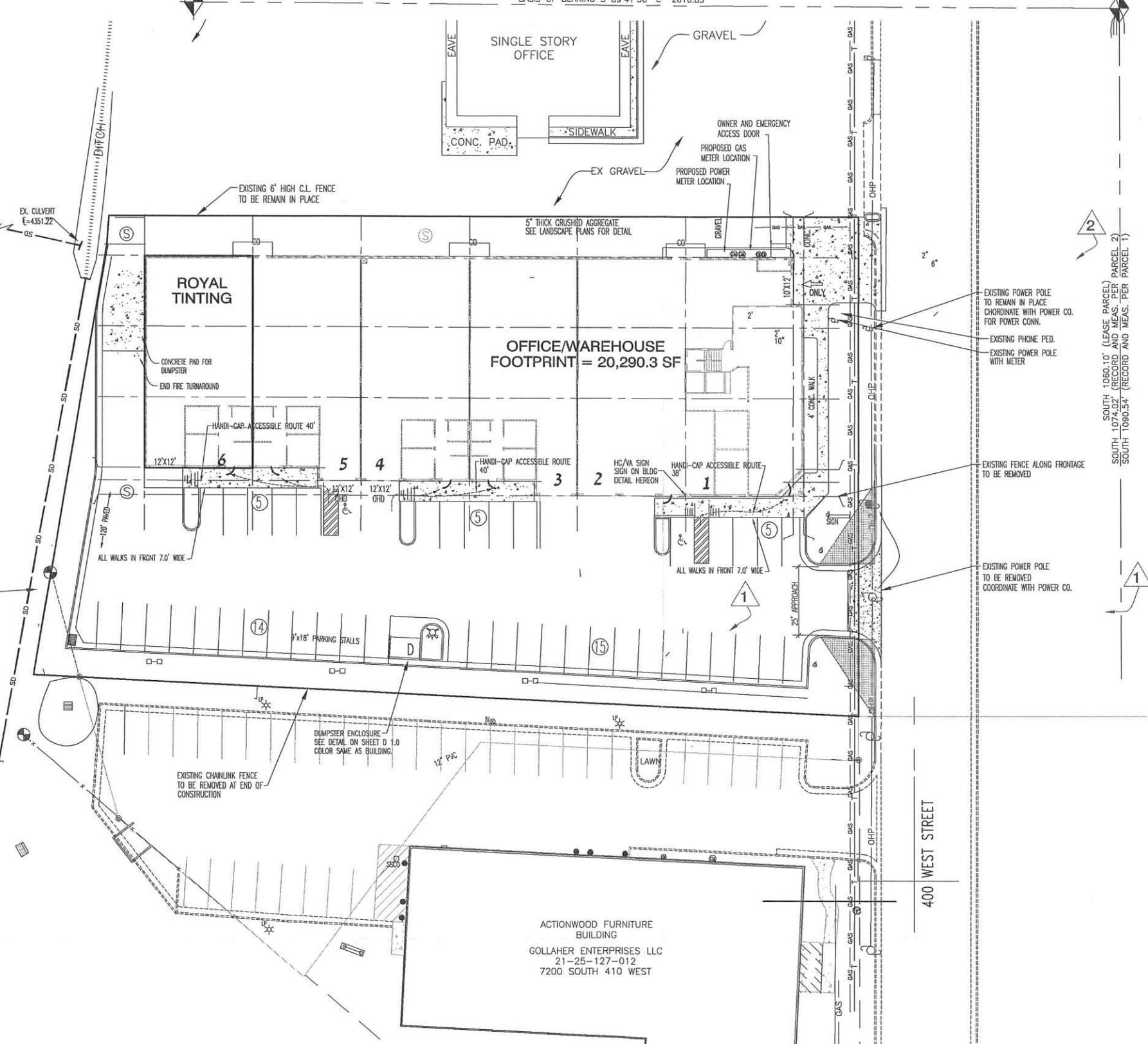
VICINITY MAP



 Proposed Location



ROYAL TINTING
INTERIOR LAYOUT



AND RUNNING THENCE NORTH 0°05'48" EAST 199.69 FEET; THENCE WEST 267.45 FEET TO THE NORTHWEST CORNER INTERSECTS THE EASTERLY RIGHT-OF-WAY LINE OF I-15 THE FOLLOWING 4 COURSES: SOUTH 0°09'11" WEST 122.11 FEET; THENCE SOUTH 15°40'00" EAST 89.14 FEET; THENCE LEAVING SAID RIGHT-OF-WAY EAST 107.30 FEET; THENCE SOUTH 87°13'58" EAST 13

PARCEL NO. 2:

BEGINNING AT A POINT WHICH LIES ON THE WESTERLY POINT ALSO LIES SOUTH 1090.55 FEET AND WESTERLY 227' SECTION 25, AND RUNNING THENCE NORTH 0°05'48" WEST STREET 200.17 FEET; THENCE WEST 10.00 FEET DESCRIBED PARCEL; THENCE SOUTH 0°05'48" WEST, ABOVE DESCRIBED PARCEL, 199.69 FEET TO THE SOUTH THENCE SOUTH 87°13'58" EAST 10.01 FEET TO THE P

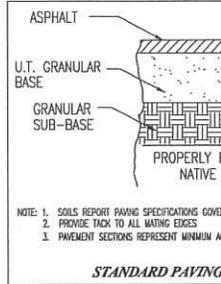
LESS AND EXCEPTING THEREFROM THE FOLLOWING:
 BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY PLAT RECORDED IN BOOK "66" OF PLATS AT PAGE 75 LAKE COUNTY RECORDER, SAID POINT BEING SOUTH 10 NORTH QUARTER CORNER OF SECTION 25, TOWNSHIP 2 MERIDIAN, AND RUNNING THENCE SOUTH 0°05'48" WEST THENCE SOUTH ALONG SAID RIGHT-OF-WAY LINE 0.46 FEET; THENCE SOUTH 37°19'53" WEST 107.66 FEET TO ACCESS LINE OF INTERSTATE 15; THENCE NORTH 49°5' LINE 89.14 FEET; THENCE NORTH 15°40'00" WEST AL FEET TO A POINT ON THE SOUTH BUILDING LINE EXT SAID SOUTH BUILDING LINE AND LINE EXTENDED 288.3

CONTAINS: 51,028.15 SQ. FT. AS COMBINED

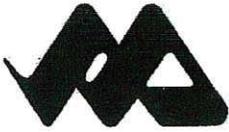
2
 SOUTH 1090.10' (LEASE PARCEL) PARCEL 2)
 SOUTH 107°14'02" (RECORD AND MEAS. PER PARCEL 1)
 SOUTH 1090.54' (RECORD AND MEAS. PER PARCEL 1)

1

SCALE: 1" = 20'



STANDARD PAVING



MIDVALE CITY

Department of Community and Economic Development
655 West Center Street, Midvale City, Utah 84047
Phone: 801.567.7231 * Fax: 801.567.0518

CONDITIONAL USE PERMIT APPLICATION

Applicant Information

Name: Nate Weiker
Business Name (if applicable): Royal Tinting Inc
Mailing Address: 7174 South 400 West #6
City, State, Zip: Midvale, UT 84047
Daytime Phone: 801-270-8468 Email: [unclear]
Fax: N/A royal.tinting@midvale@gmail.com

For Office Use Only

CUP- 18.00166B
Fee: \$255.88
Date Accepted: 12/07/15
Planner: WOT
Zone: CI

Property Owner Information

Owner Name (if different): Dupetco Development L.L.C
Agent Name (if applicable): DAVID PETERSON
Mailing Address: 7107 So. 400 W #1
City, State, Zip: MIDVALE UT 84047
Daytime Phone: 801-255-3503 Email: DAVID.PETERSON@dupetco.com

Meeting Dates

Planning Commission

City Council

Property Information

Property Address: 7174 South 400 West #6 Sidwell No.: 21-25-127-015
Midvale, UT 84047
Detailed Nature of Use (business statement, hours, number of employees, activities, related products, etc.):
(May be attached) 2 full time owner/operator employees open Tuesday thru Sat. 9am to 5pm
Window tinting Automotive: commercial/residential
clear bra paint protection vinyl graphics & minor accessories
- No outdoor storage

Application Fees

\$250 without site plan review \$890 with preliminary site plan review (if applicable)

Authorized Signature

I am/we are aware that this application does not authorize building or conducting business until approved by Midvale City Corporation and a conditional use permit have been issued. I/We also understand that when a conditional use permit is granted subject to conditions, such conditional use permit does not become effective until all conditions have been met. I/We also agree to conduct said business/development strictly in accordance with the laws and ordinances covering such businesses and developments and that no other business will be conducted other than what is stated above. I certify that the submitted information is true and correct to the best of my knowledge. I am aware that only complete applications will be accepted for processing. (Complete application requirements are attached.)

Authorized Signature: [Signature] Date: 12-1-15

Note: Obtaining a conditional use permit does not eliminate the necessity of obtaining a building permit and/or a business license (if applicable). Please contact the Midvale City Building Department or the Business License Administrator.

COMMERCIAL AND INDUSTRIAL LEASE
"TRIPLE NET"

THIS LEASE made and entered into this November 30th, 2015, by and between Peterson Engineering, LLC, "Landlord," and Royal Tinting, Inc., hereafter called "Tenant."

WITNESSETH:

In consideration of the covenants and promises contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed by the parties hereto as follows:

I. DEMISED PREMISES:

Landlord hereby leases to Tenant and Tenant hereby leases from Landlord all those certain premises hereinafter more fully described, together with the buildings and other improvements thereon, for the term and upon the rental herein set forth. Said demised premises consist more particularly of an area containing approximately 2,980 square feet of a certain building containing approximately 23,275 square feet, commonly known as Midvalley Business Center, located at 7174 South 400 West, Suite 6 in Midvale City of Salt Lake County, State of Utah.

* Tenant its employees, invitees and customers, shall have the right to use the common and parking areas jointly with any other tenants of the building

II. TERM:

TO HAVE AND TO HOLD said premises unto Tenant for a term of 61 months beginning on the 1st of January, 2016.

If Landlord fails to deliver possession of premises ready for occupancy at the commencement of the lease term for any reason beyond Landlord's control, Landlord shall not be liable for any damage caused thereby, nor shall this lease become void or void able, nor shall the lease term be extended, but in such event no rental shall be payable by Tenant to Landlord for any portion of the lease term until Landlord can deliver possession of premises to Tenant ready for occupancy by Tenant. However, in the event the demised premises are not completed and ready for occupancy by December 31, 2015, the Tenant herein, at his option, ~~may~~ cancel this lease without damage.

III. TERMS AND CONDITIONS OF LEASE:

This Lease is made on the following terms and conditions, which are expressly agreed to by Landlord and Tenant:

1. RENT: The Tenant agrees to pay as rental to Landlord, at the address specified in this Lease or at such other place Landlord may from time to time designate in writing, the sum one hundred forty four thousand four hundred seventy one dollars and sixty seven cents. Said sum to be lawful money of the United States payable as follows:

Tenant has early access to the suite for space-planning, permitting and fit-up beginning December 1, 2015. Tenant agrees that it will not interfere or cause delay to Landlord's work during early access period

Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION:	PARKER DUPLEX
LOCATION:	158 West Center Street (7720 South)
APPLICANT:	Dave Webster, Stonebrook Homes
FILE #:	CUP-21-25-454-014
REQUEST:	TWO-UNIT RESIDENTIAL STRUCTURE (DUPLEX)
MEETING DATE:	Wednesday, January 13, 2016
ZONING DESIGNATION:	Single Family Residential/Duplex Overlay (SF1-DO)
AUTHOR:	Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S):	MMC Chapter 17-3-4, Chapter 17-7-1.2, Chapter 17-7-1.14
AGENDA #:	3

SUMMARY:

The applicant, Dave Webster, is requesting a Conditional Use Permit in order to legally convert an existing one-story, single-family dwelling at 158 West Center Street, into a two-unit residential structure (duplex). The main floor of the home would be identified as one-unit and the basement floor would be identified as the second-unit. This property is zoned SF-1 with a Duplex Overlay, whereupon the Duplex Overlay allows duplexes as a conditional use, provided the general conditional use criteria are satisfied. This applicable criteria includes the following:

1. The application complies with all applicable provisions of the zoning ordinance, state and federal law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the Midvale City General Plan, as amended;
5. Traffic conditions are not adversely effected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in §17-7-13.7;
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses; and
10. Exterior lighting that complies with the lighting standards of the zone and is designed to minimize conflict and light trespass with surrounding uses.

In reviewing this application and the above criteria, it appears a vehicle related use will not be detrimental to surrounding uses and future proposed tenants, provided the parking requirements and remaining tenant spaces can be reviewed and determined to be in compliance. Based on the size and type of use, six parking spaces are required, as well as sufficient parking for vehicles waiting to be picked up or serviced. All improvements exist, with sufficient utility capacity and emergency vehicle access. As part of the business license review, all Building and Fire Code requirements shall be addressed and satisfied. There are also no proposed hazardous chemicals utilized with this use that will require special

disposal. Staff does not anticipate any additional impacts being created by this proposed use, provided the business is operated in accordance with this proposal.

Based upon this development being proposed in this location, this project must comply with the Neighborhood Compatibility requirements of the SF-1 zone district to ensure the structure is architecturally compatible with respect to height, mass, and exterior materials of other homes along this block. Development along this block is predominately single-story, single-family houses with detached garages, front porches, and brick exteriors. Since this project does not propose any exterior alterations, no changes to the outside of the structure would be required; however any future exterior changes will be required to comply with the neighborhood compatibility requirement.

The applicant will need to work with the Building Official to address any Building Code issues regarding the interior of the structure. This can be accomplished through the required Building Permit to remodel the structures inside. This proposed use is consistent with the General Plan and the requirements of the SF-1/Duplex Overlay zone. There is sufficient utility capacity and street capacity and the emergency vehicle access has been determined to be sufficient from Center Street. Water and sewer is/will be provided by Midvale City. There is also an existing curb, gutter, 18-foot park strip, and sidewalk along the lot frontage, adjacent to Center Street. The applicant has proposed adequate off-street parking with a one-car garage and individual stall for one unit and two, individual stalls for the second unit. There are existing fences along the sides and rear property lines however; these appear to be between 3-4-foot in height. Staff would recommend that a six-foot high screening fence be constructed from the front setback line back along the side property lines and along the back property line to ensure privacy for adjacent property owners.

With the recommended conditions, it does not appear that this use will be detrimental to the public health, safety, and welfare.

STAFF RECOMMENDATION:

Based on the proposal's compliance with the Conditional Use Permit criteria and the above analysis, Staff would recommend that the Planning Commission approve the Conditional Use Permit for Parker Duplex to be located at 158 West Center Street with the following conditions:

1. A six-foot high screening fence shall be constructed from the front setback line back along the side property lines and along the back property line in conformance with Midvale City's fencing requirements.
2. The applicant shall obtain a Building Permit prior to any interior remodel work on the structure and shall comply with all requirements of the Building Official and Fire Marshall.

RECOMMENDED MOTION:

"Based on the proposal's compliance with the Conditional Use Permit criteria, I move to approve the Conditional Use Permit for Parker Duplex to be located at 158 West Center Street with the following conditions:

1. *A six-foot high screening fence shall be constructed from the front setback line back along the side property lines and along the back property line in conformance with Midvale City's fencing requirements.*
2. *The applicant shall obtain a Building Permit prior to any interior remodel work on the structure and shall comply with all requirements of the Building Official and Fire Marshall."*

ADJACENT LAND USES:

North: SF-2 (single-family residential uses)

South: SF-1 (single-family residential uses)

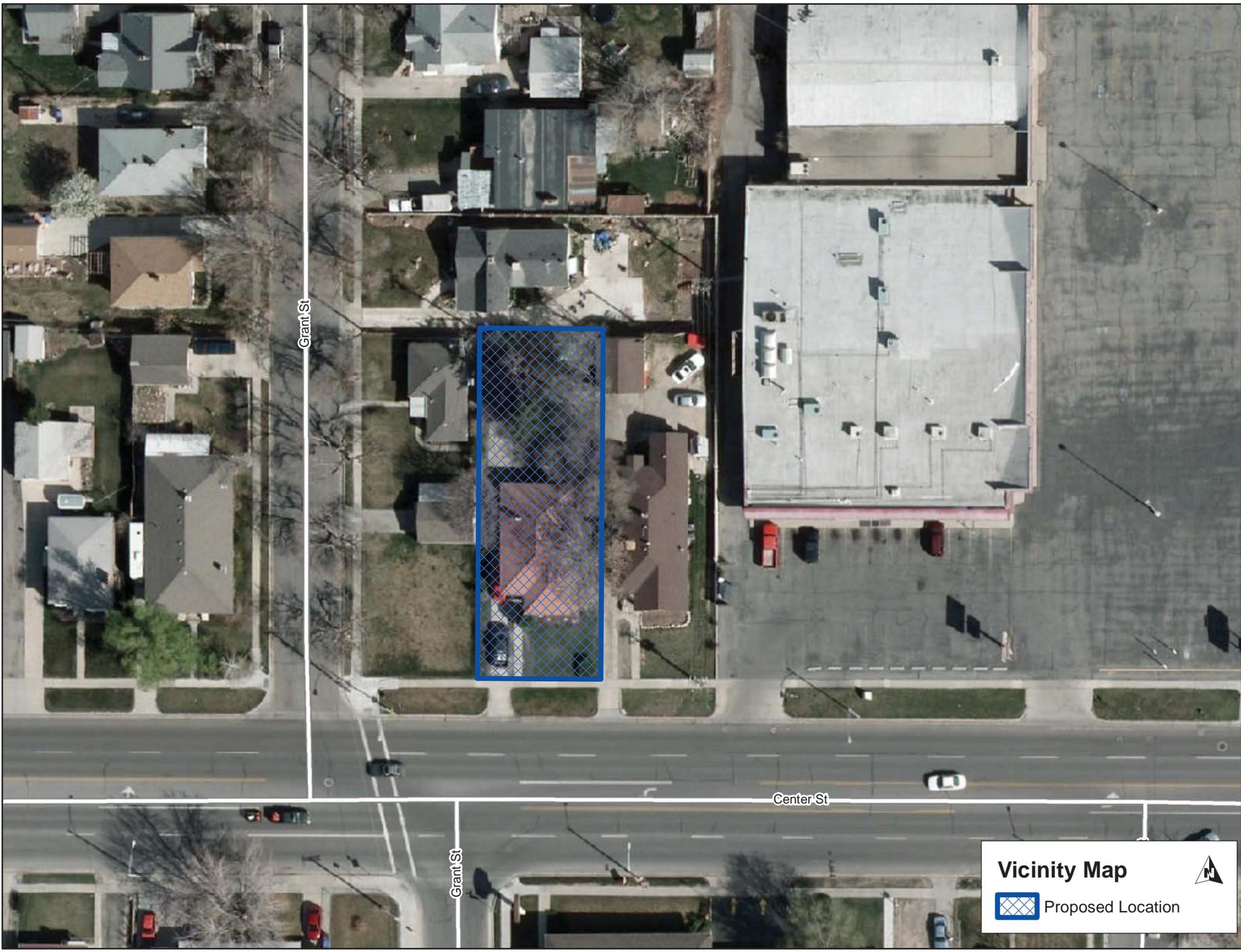
East: TOD (medium- to high-density development)

West: SF-1/DO (single-family residential uses)

ATTACHMENTS:

- Vicinity Map
- Site Plan
- Submittal Documents
- Site Visit Pictures

PUBLIC NOTICE: No Yes



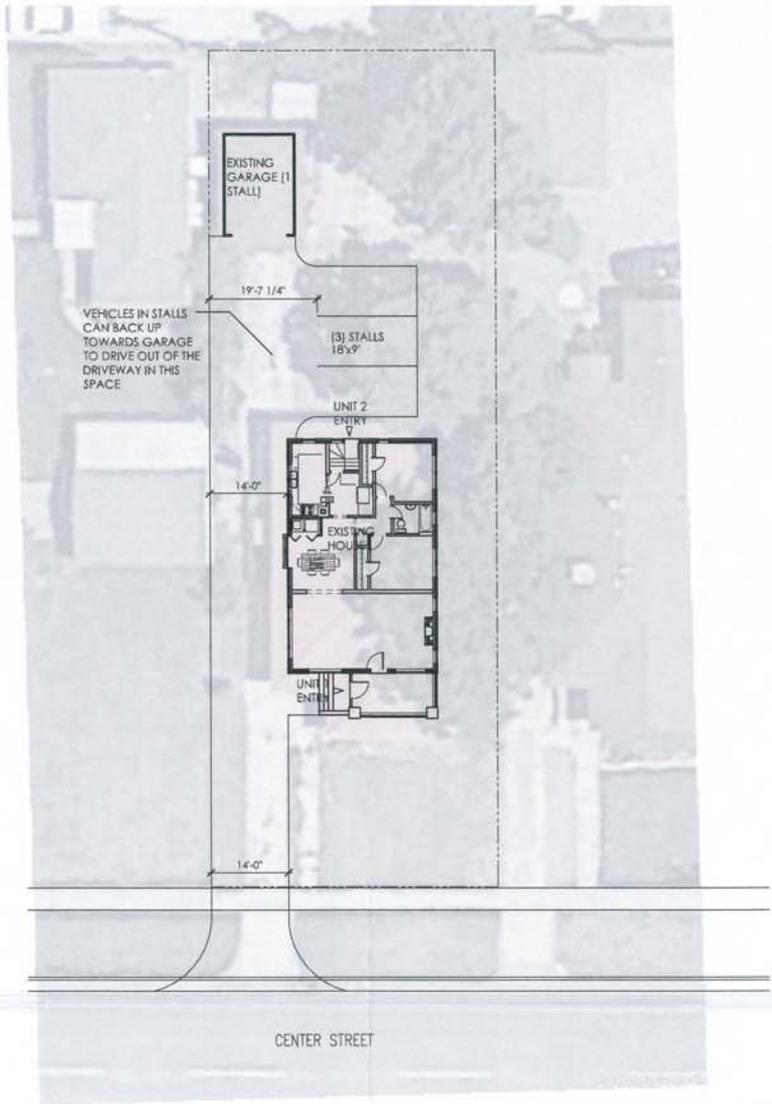
Grant St

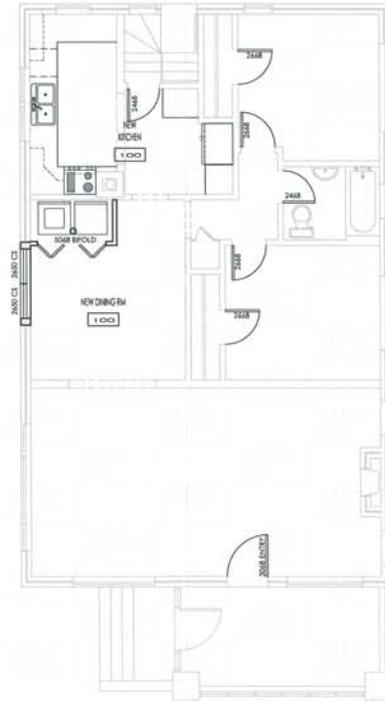
Center St

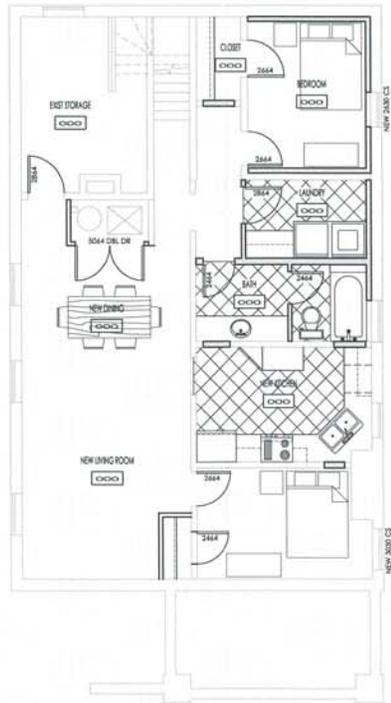
Grant St

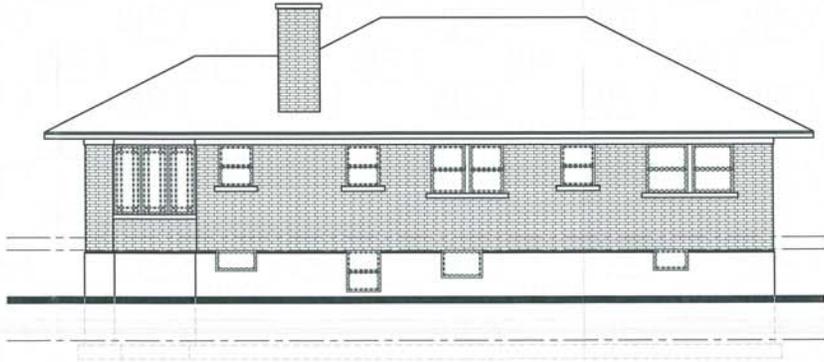
Vicinity Map 

 Proposed Location











Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION:	RIVERWALK SENIOR HOUSING – PARDOE
LOCATION:	6968 South 700 West
APPLICANT:	Brian Carlisle, The Richardson Design Partnership
FILE #:	SSMP/CUP -21-23-476-005
REQUEST:	Small Scale Master Plan and Conditional Use Permit
MEETING DATE:	Wednesday, January 13, 2016
ZONING DESIGNATION:	Bingham Junction/Riverwalk Overlay – Subarea 1
AUTHOR:	Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S):	MMC Chapter 17-7-9; 17-7-9.12.2
AGENDA #:	4

SUMMARY:

The applicant, Brian Carlisle, is proposing an assisted living facility to be located within the LSMP known as The Bingham Junction Master Plan under the Small Scale Master Plan (SSMP) provision. This is part of the Riverwalk Overlay and is included in Subarea 1 of the Bingham Junction Master Plan. This development will have public road frontages on two sides; the east and south. An assisted living use is a conditional use in Subarea 1 of the Bingham Junction/Riverwalk Overlay Zone. This assisted living use is being proposed on the approved Riverwalk at Bingham Junction subdivision plat, known as Lot 5 (1.00 acres) and provides access from 700 West. The proposed structure is two-stories and includes 45 residential rooms, administration space, support areas, and common spaces. An outdoor patio/dining area is proposed along the West Elevation, adjacent to the indoor dining/lobby area. The structures main entrance is located interior to the site along the East Elevation and includes a portico from the parking lot to the entrance of the building. The proposed parking associated with the assisted living use includes 29 on-site parking spaces. A copy of the proposed site plan and building elevations is attached.

This SSMP proposal is consistent with the existing LSMP for The Bingham Junction Master Plan as far as the development layout is concerned. The City Engineer has reviewed the construction plans for the project, and has approved the plans subject to some minimal changes and additional information. The plans were also approved by the Site Plan Coordinator with no additional changes or information. The plans were distributed to the Fire Marshall but no comments have been received. All comments received from the City Engineer and Fire Marshall shall be satisfied before final site plan approval and building permits can be issued.

SMALL SCALE MASTER PLAN:

In reviewing the proposed site plan and building elevations with regard to the required development standards, landscaping standards, and architectural standards, Staff provides the following analysis and comments for the Planning Commission’s consideration and discussion. Some items will require specific approval from the Planning Commission body.

DEVELOPMENT STANDARDS

- The maximum height in this zone is 95-feet when located more than 200-feet from a single-family residential structure. This proposal is a two-story structure, estimated to be a maximum of 34’3”, and is located outside of the 200-foot proximity from a single-family residence.

LANDSCAPING STANDARDS

- The ordinance requires a minimum of 13% of the area to be developed as landscaped setbacks, courtyards, plazas, open space or walkways. This proposal has provided a total of 31.4% of landscaping/pervious area, including a 5-foot sidewalk from 700 West that provides access into the interior of the project.
- The ordinance requires a landscaped setback of 20-feet from the edge of the public right-of-way and shall be landscaped in accordance with the Riverwalk at Bingham Junction design guidelines. This proposal has provided a combination of, ‘Redspire Pear’ deciduous trees and ‘Dwarf Austrian Pine’ street trees. The street trees along 700 West need to be either ‘Hedge Maple’; ‘Goldenrain Tree’; or ‘Flowering Plum’ and planted at 30-foot intervals and along Riverwalk Drive need to be either ‘London Plane Tree’ or ‘Washington Hawthorn’ and planted at the appropriate intervals.
- Building foundation landscaping has been provided around the entire proposed structure.
- A minimum 30-foot landscaped buffer is required to provide screening, buffering, and separation of uses between residential and commercial/industrial uses. Since this proposed project is identified as a commercial use, the 30-foot landscaped buffer would be required along the North and West property boundaries, separating the approved multi-family project known as Canyon Crossing at Riverwalk Apartments. The applicant has proposed to install a 6-foot masonry fence along the North and West property boundaries and has proposed a landscaped buffer between 5’ – 11’ along the North property line and a landscaped buffer between 20’ – 21’ along the West property line. Both of these landscaped buffers are adjacent to existing carports and parking stalls for the adjacent development. The applicant also provided a letter from the Executive Director for the Utah Center for Neighborhood Stabilization and in cooperation with the Canyon Crossing at Riverwalk project; they have provided support for the reduction of the landscaped buffers, as currently proposed. This request will need to be discussed and a determination made by the Planning Commission.
- The ordinance requires at least 25% of all trees and shrubs are of evergreen variety. There appears to be some evergreen trees and shrubs proposed however this calculation will need to be included on the landscaping plan to determine compliance.

ARCHITECTURAL STANDARDS

- The structure is required to have no more than three materials for primary wall surfaces and a use of cohesive colors that complement nearby buildings. The proposal includes the use of cultured stone around the base of the structure, cement fiber panels and trim, and exterior windows. The colors are also of earth-tone colors similar to the approved development standards and are complimentary to the surrounding developments
- The proposed roof form is sloped with differing elevation shifts that breaks up the roof line and is consistent with the design and structure of the proposed building.
- Regarding form variations, i.e. devices which result in significant dimensional changes in plane, color or detail, the ordinance requires street-facing faces to use at least two of the form variations listed in the ordinance and at least one form be used on other facades (Section 17-7-9.12.2.7.F.3). Some elements proposed with this assisted living use include off-sets and shifts in the general planes of the facades; changes in materials and color, and a recessed main entrance with a covered entrance feature. All other facades include a combination of off-sets and shifts to the general plane of the façade and changes in materials and colors.
- The ordinance requires each building have a clearly defined, highly visible entry for customers. This proposal includes a portico at the main entrance on the east side of the building. This portico includes columns and architectural details similar to the proposed structure.
- The ordinance requires entry doors be inset by at least three feet or arcades provided at all customer entrances. The main entrance doors are recessed from the façade of the building and provides a canopy element however the entry doors along the East and North elevations, adjacent to the pedestrian walkways, appears not to be recessed or provide some type of weather

protection. The applicant will need to include this minimal change on the proposed elevation plans.

- Trash collection areas are required to be screened from all visible public views. The applicant has proposed to install a 6-foot CMU trash enclosure with metal screening gates in the NE corner of the property. Additional information will be required on the exterior finish of this proposed structure; i.e. exterior material and colors. The applicant will also need to identify any proposed AC units or additional mechanical equipment and how these features will be screened appropriately.

PARKING STANDARDS

- The required parking for an assisted living use is one space/two bedrooms plus one per employee/shift. Based on these calculations, the minimum amount of parking required for this use is 28 stalls. The applicant has proposed to provide a total of 29 parking spaces, thus complying with the parking requirements.
- The pedestrian crosswalk along 700 West shall be differentiated by the use of pavers, stamped concrete, or stamped asphalt to include the following pattern and color: Ashlar-Dark Gray CC230/04 – color-crete or equivalent.
- The ordinance requires a submittal of an outdoor lighting plan that indicates the proposed locations, illumination devices, and photometric data. Staff has determined the parking lot light plan does not comply with the ordinance and additional information will also need to be provided concerning this requirement. The applicant will need to further review the photometric proposal and propose the appropriate uniformity ratio and submittal of additional information.

CONDITIONAL USE PERMIT:

In order to approve a Conditional Use Permit for an assisted living use, the following applicable criteria must be determined:

1. The application complies with all applicable provisions of this title, state and federal law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the general plan, as amended;
5. Traffic conditions are not adversely affected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in Section 17-7-3.7;
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses;
10. Compatibility of the proposed mass, bulk, design, orientation, and location of the structures on the site; including compatibility with buildings on adjoining lots and to the street;
11. Exterior lighting that complies with the lighting standards of the zone and is designed to minimize conflict and light trespass with surrounding uses; and
12. Within and adjoining the site, impacts on the aquifer, slope retention, flood potential have been fully mitigated and the proposed structure is appropriate to the topography of the site.

Provided all of the Small Scale Master Plan/Site Plan requirements are satisfied, Staff does not see any issues or additional mitigation measures needed for an assisted living use at this location. It does not appear this use will be detrimental to existing or future surrounding uses.

The applicant will need to address the following details on the final site plan to ensure compliance with the Riverwalk Overlay zoning requirements. These items will not affect the overall development layout.

- The street trees along 700 West and Riverwalk Drive shall be of the appropriate species and planted at appropriate intervals.
- A minimum of 25% of the trees and shrubs shall be of evergreen variety.
- The entry doors along the East and North elevations shall provide some type of weather protection or inset a minimum of 3-feet.
- Additional information; such as materials, colors, etc., shall be provided concerning the trash enclosure.
- The applicant shall identify any proposed AC units or additional mechanical equipment and address how these features will be screened appropriately.
- The pedestrian crosswalk along 700 West shall be differentiated to include stamped, colored concrete or asphalt walkway similar to the surrounding developments in this area.
- A revised exterior lighting plan, for the parking areas, that complies with the Zoning Ordinance shall be submitted.
- An irrigation/planting plan that complies with the Zoning Ordinance shall be submitted.
- A grading plan that complies with the Zoning Ordinance shall be submitted.

STAFF RECOMMENDATION:

The Planning Commission will need to specifically discuss and decide whether the 30-foot landscaped buffer along the North and West property boundaries may be reduced based upon installation of a screening wall and support from the adjacent property owner or if the buffer-zone shall remain. Otherwise, Staff believes this project complies with the Large Scale Master Plan for this area and all of the Bingham Junction Zone and Riverwalk Overlay development standards, provided the details above are addressed with the final site plan.

RECOMMENDED MOTIONS:

Alternative 1 – Current Plan Satisfies the Landscaped Buffer requirement between commercial and residential development

“Based on compliance with the Large Scale Master Plan and the Bingham Junction and Riverwalk Overlay development standards, I move that we approve the Small Scale Master Plan and Conditional Use Permit for the Riverwalk Senior Housing to be located at 6968 South 700 West with the following conditions:

1. *The final site plan shall be prepare and submit a final site plan in accordance with Section 17-3-3 E of the Zoning Ordinance and shall be reviewed and approved by the City Engineer, Fire Marshall, and City Planner.*
2. *The final site plan shall address the following items:*
 - *The street trees along 700 West and Riverwalk Drive shall be of the appropriate species and planted at appropriate intervals.*
 - *A minimum of 25% of the trees and shrubs shall be of evergreen variety.*
 - *The entry doors along the East and North elevations shall provide some type of weather protection or inset a minimum of 3-feet.*
 - *Details on the trash enclosure and mechanical equipment enclosure shall be provided. Details shall include the proposed exterior materials, colors, and dimensions. The materials and colors of these enclosures shall be compatible with the building, and include screening gates.*
 - *AC units or additional mechanical equipment shall be identified and the applicant shall illustrate how they will be screened appropriately.*

- *The pedestrian crosswalk along 700 West shall be differentiated to include stamped, colored concrete or asphalt walkway similar to the surrounding developments in this area.*
 - *The exterior lighting and photometric plan shall be revised to comply with Section 17-7-9.6 F of the Zoning Ordinance.*
 - *An irrigation/planting plan, complying with Section 17-7-9.5 C of the Zoning Ordinance shall be submitted.*
 - *A grading plan, complying with Section 17-7-9.5 C of the Zoning Ordinance shall be submitted.*
3. *All requirements of the Building Official, Fire Marshall, and the City Engineer shall be satisfied.*
 4. *All signage shall be reviewed under the applicable sign requirements and approved through the sign permit process.”*

Alternative 2 –Landscaped Buffer requirement between commercial and residential development to be addressed on plan

“Based on compliance with the Large Scale Master Plan and the Bingham Junction and Riverwalk Overlay development standards, with the exception of the 30-foot landscaped buffer requirement, I move that we approve the Small Scale Master Plan and Conditional Use Permit for the Riverwalk Senior Housing to be located at 6968 South 700 West with the following conditions:

1. *The applicant shall modify the plan to include the required 30-foot landscaped buffer, along the North and West property boundaries, to screen and separate the commercial and residential uses while still complying with the Bingham Junction and Riverwalk Overlay Zone development standards*
2. *The final site plan shall be prepare and submit a final site plan in accordance with Section 17-3-3 E of the Zoning Ordinance and shall be reviewed and approved by the City Engineer, Fire Marshall, and City Planner.*
3. *The final site plan shall address the following items:*
 - *The street trees along 700 West and Riverwalk Drive shall be of the appropriate species and planted at appropriate intervals.*
 - *A minimum of 25% of the trees and shrubs shall be of evergreen variety.*
 - *The entry doors along the East and North elevations shall provide some type of weather protection or inset a minimum of 3-feet.*
 - *Details on the trash enclosure and mechanical equipment enclosure shall be provided. Details shall include the proposed exterior materials, colors, and dimensions. The materials and colors of these enclosures shall be compatible with the building, and include screening gates.*
 - *AC units or additional mechanical equipment shall be identified and the applicant shall illustrate how they will be screened appropriately.*
 - *The pedestrian crosswalk along 700 West shall be differentiated to include stamped, colored concrete or asphalt walkway similar to the surrounding developments in this area.*
 - *The exterior lighting and photometric plan shall be revised to comply with Section 17-7-9.6 F of the Zoning Ordinance.*
 - *An irrigation/planting plan, complying with Section 17-7-9.5 C of the Zoning Ordinance shall be submitted.*
 - *A grading plan, complying with Section 17-7-9.5 C of the Zoning Ordinance shall be submitted.*
4. *All requirements of the Building Official, Fire Marshall, and the City Engineer shall be satisfied.*
5. *All signage shall be reviewed under the applicable sign requirements and approved through the sign permit process.”*

ADJACENT LAND USES:

North: Bingham Junction/Riverwalk Overlay (BJ/RWO)	Multi-Family Development
South: Bingham Junction/Riverwalk Overlay (BJ/RWO)	Commercial Uses
East: Clean Industrial (CI)	Commercial Uses
West: Bingham Junction/Riverwalk Overlay (BJ/RWO)	Residential Development

ATTACHMENTS:

- Vicinity Map
- Proposed Small Scale Master Plan
- Building Elevations
- Submittal Documents

PUBLIC NOTICE: No Yes



Village Bend Dr
Village Haven Dr

Alfred Way

6825 S

River Gate Dr

6960 S

Bingham Junction Blvd

700 W

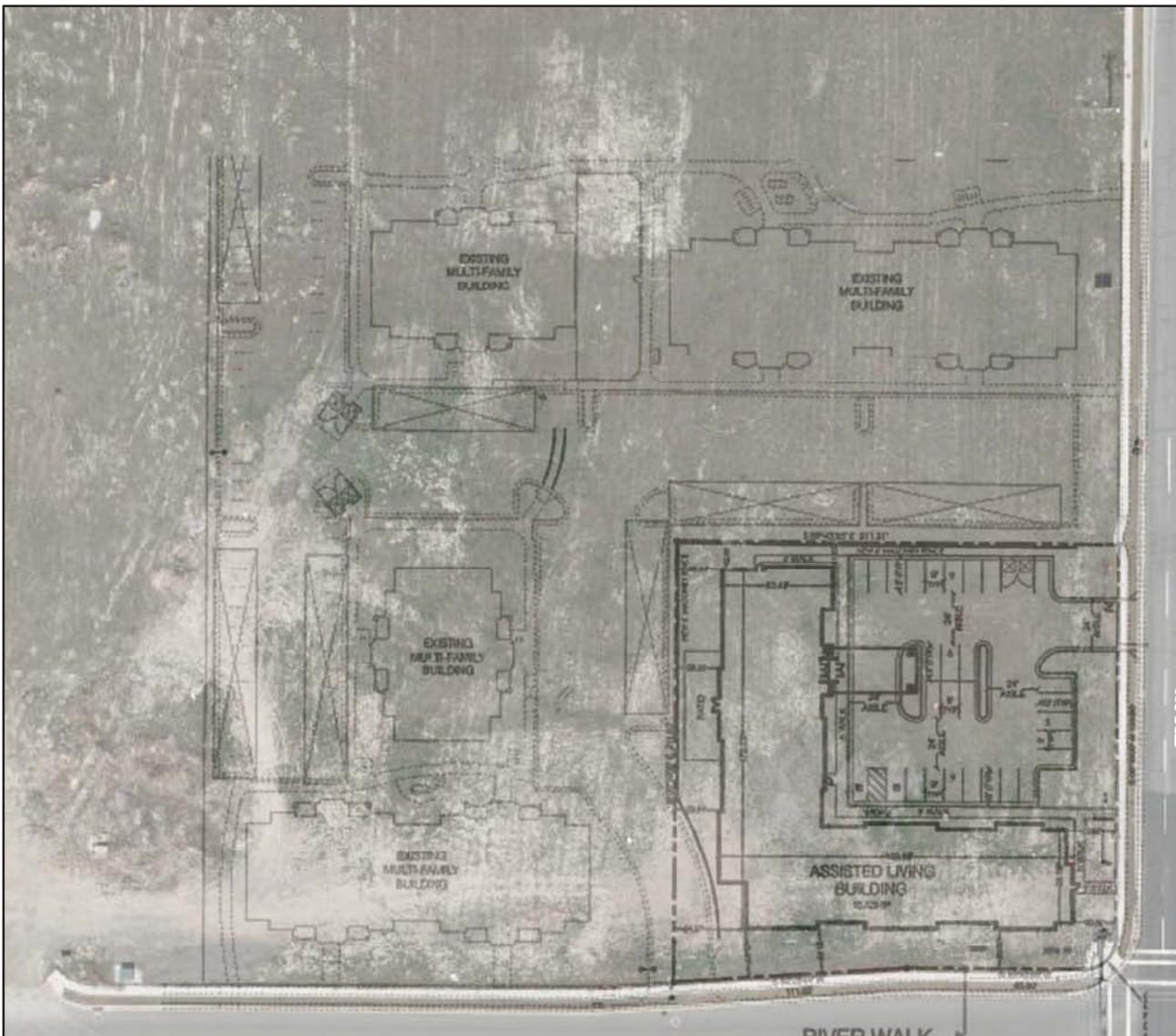
Commerce Park Dr

600 W

Vicinity Map



Proposed Location

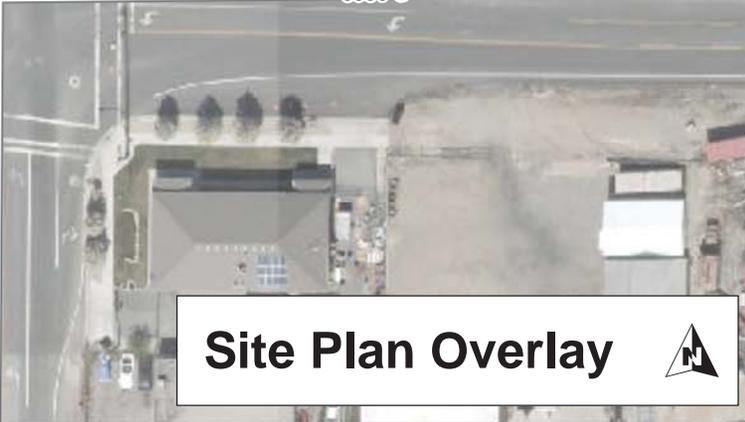


River Gate Dr

700 W



6960 S



Site Plan Overlay 

TABULATIONS		
TOTAL LOT AREA	1.09 AC	100%
BUILDING SQUARE FOOTAGE	13,725 SF	31.8%
PARKING LOT / PERVIOUS AREA	13,307 SF	32.2%
LANDSCAPING / PERVIOUS AREA	13,852 SF	31.4%
NUMBER OF STANDARD PARKING SPACES		27 SPACES
NUMBER OF HANDICAP SPACES		2 SPACES
TOTAL NUMBER OF PARKING SPACES		29 SPACES



SITE LIGHTING NOTES:

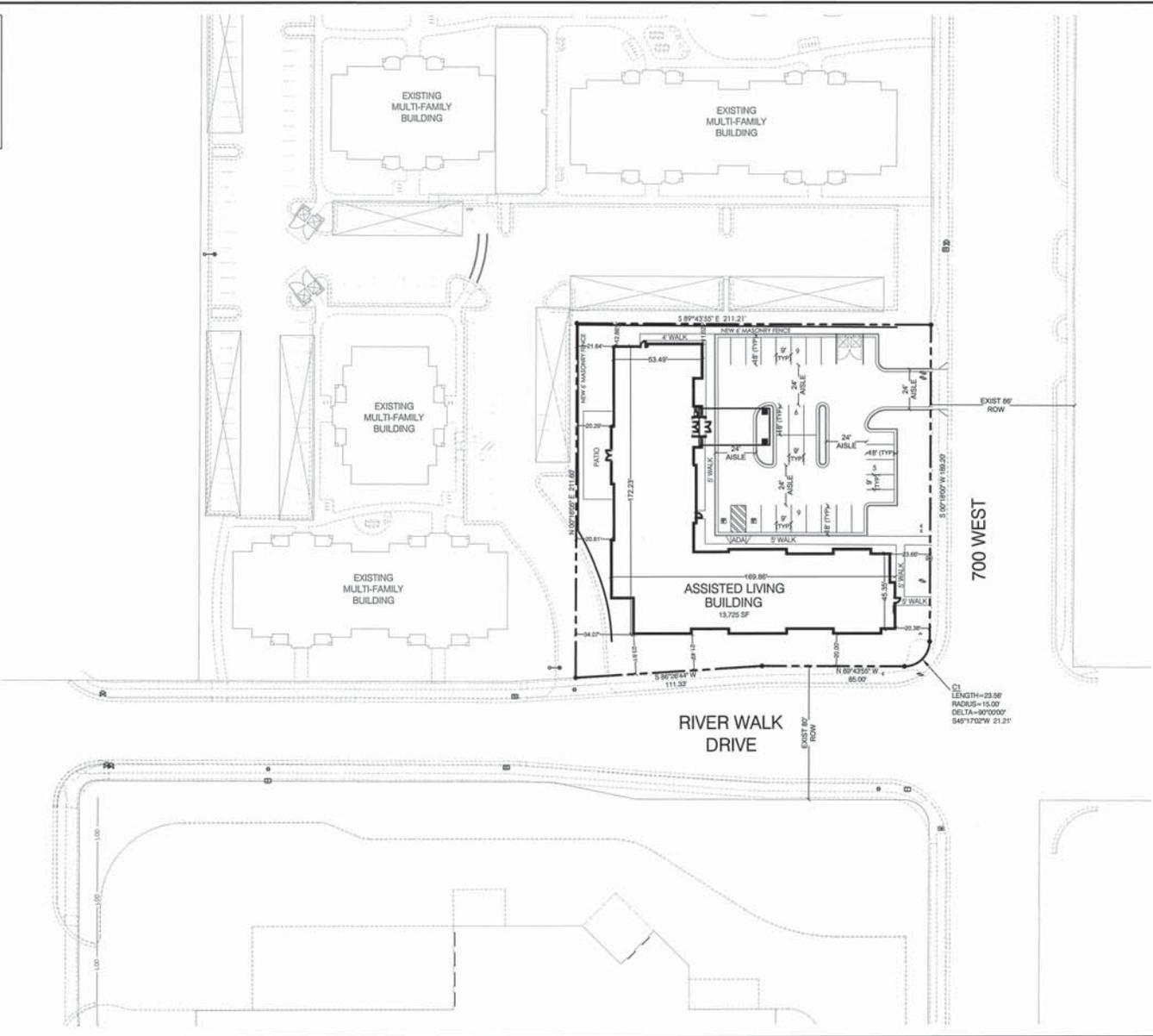
- LIGHTING TO BE WALL PACK MOUNTED UNITS ON BUILDINGS, APPROXIMATELY 10' OFF THE GROUND AND DIRECTED DOWNWARD.

BOUNDARY DESCRIPTION
LOT 5 OF THE RIVER WALK AT BINGHAM JUNCTION

SHEET INDEX	
C1	SITE PLAN
C2	OVERALL UTILITY PLAN
C3	GENERAL LANDSCAPE PLAN
ARCH	BUILDING ELEVATIONS

GENERAL NOTES

- THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).



DEVELOPER

RIVER WALK SENIOR HOUSING

DEVELOPER

DERK PARDOE
3454 STONE MOUNTAIN LANE
SANDY, UT 84092

SCALE: 1"= 30'

Berg
CIVIL ENGINEERING
11038 N Highland Blvd Suite 400
Highland UT, 84033
office (801) 492-1277
cell (801) 616-1677

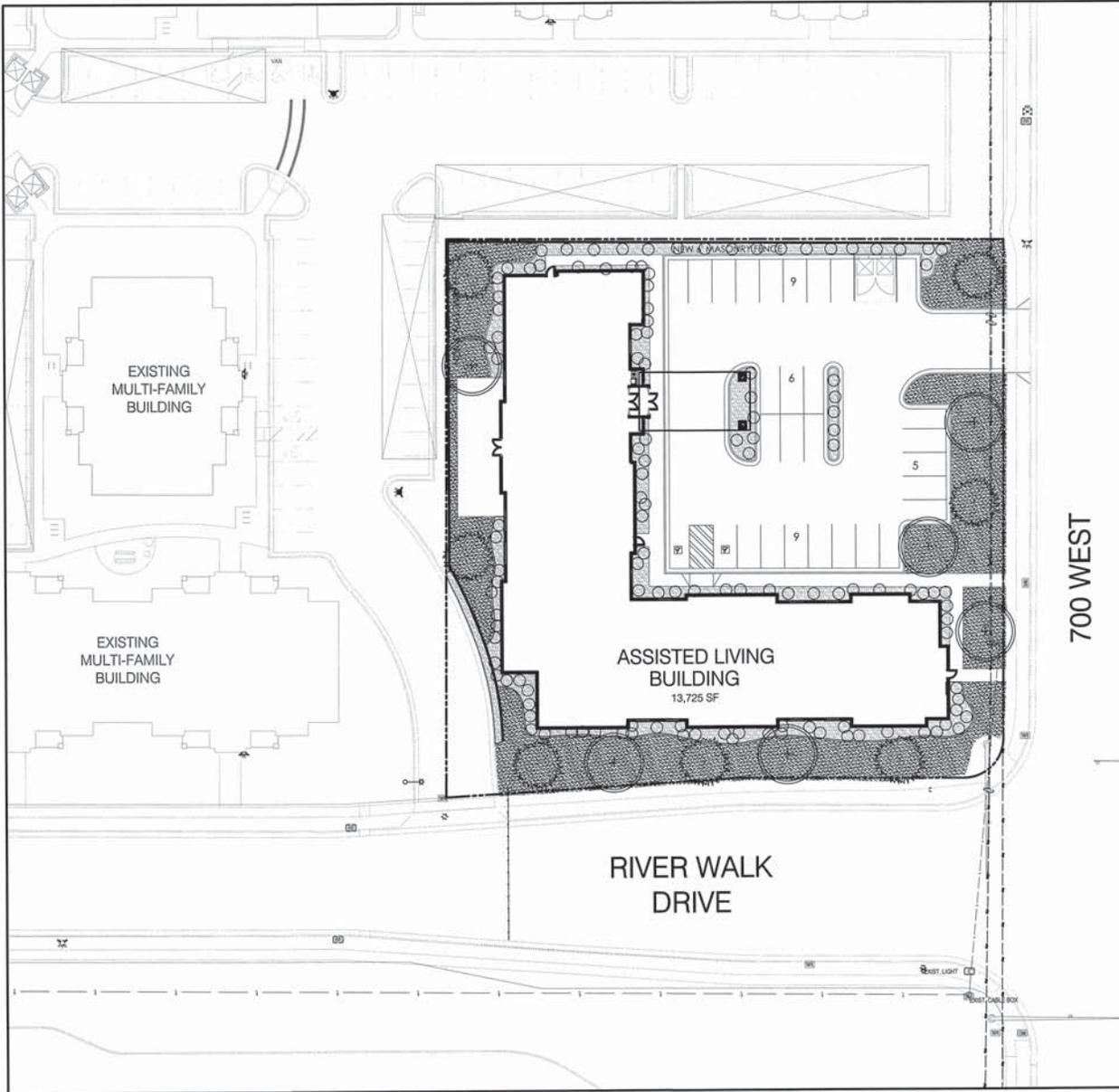
NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
5				
6				

ACTION: SITE PLAN DATE: 12/02/15

PROJECT: RIVER WALK SENIOR HOUSING 6968 SOUTH 720 WEST MIDVALE, UT

DESCRIPTION: SITE PLAN

SHEET NAME	SHEET NUMBER
SITE PLAN	C1



PLANT SCHEDULE					
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	ABBREV.
TREES					
⊖	8	FICUS CALYPTARNA	REDSPINE PLUM	2" GAL	RP
⊖	7	FRAXILIS COCCONIA VIRESCENS	DWARF AUSTRALIAN PINE	7" TALL	VP
MEDIUM & LARGE SHRUBS					
⊖	60	EUCONYMIUS ALATUS	DWARF BURNING BUSH	5" GAL	DBS
⊖	84	BEUGLIA FLORIDA	JAVA RED MIMULA	5" GAL	JRM
GROUNDCOVERS & LAWNS					
□		LAWN	LAWNWOOD	800	
□		ROCK MULCH	BEVER ROCK OR COBBLE	2"-4"	

DEVELOPER

RIVER WALK SENIOR HOUSING

DERK PARDOE
3454 STONE MOUNTAIN LANE
SANDY, UT 84092

SCALE: 1" = 20'

BERG
CIVIL ENGINEERING
11538 N Highland Blvd Suite 400
Sandy, UT 84055
office (801) 492-1277
cell (801) 616-1677

REVISIONS		SEAL
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

ACTION	DATE
SITE PLAN	12/20/15

PROJECT

RIVER WALK SENIOR HOUSING

6968 SOUTH 720 WEST
MIDVALE, UT

DESCRIPTION

SITE PLAN

SHEET NAME	SHEET NUMBER
GENERAL LANDSCAPE PLAN	C3





THE
RICHARDSON
DESIGN
PARTNERSHIP
L.L.C.

Midvale City Conditional Use Permit Application

Project Narrative

The Richardson Design Partnership
Brian Carlisle
510 S 600 East
Salt Lake City, UT (801) 355-6868

This project consists of a 27,150 square foot, 2-story, wood-framed Assisted Living Facility at 6968 S 700 W. The facility will include approximately 45 residential living beds with common area, administration space, back of house, and support areas. Common spaces will include various activity rooms, large dining room, and commercial kitchen. Back of house will include, but not limited to, resident laundry rooms, manager offices, custodial spaces, etc. The project requires 28 parking stalls for patrons and staff. 29 parking stalls are provided. Staff will be on site 24 hours a day to provide patient care.

This facility will be for seniors that require some assistance with activities of daily living and wish to live as independently as possible. This facility will provide personal care assistance with bathing, dressing, grooming, hygiene, ambulating and medications. Meals, transportation, laundry, and housekeeping are provided along with twenty-four hour supportive service and supervision. This facility will not provide memory care.

Site improvements include new parking areas with curbs gutters and drainage swales. Landscape improvements meet city standards for landscape design and add substantially to the visual aesthetic of the site in combination with a well constructed building with porte cochere, stone, and hardie board siding. The 2 story facility will be at such a scale as to not overwhelm adjacent properties. The highest point of the roof is 34'-3". Property setback lines have been accounted for, and a 6 foot masonry fence will be installed along the north and east property boundaries to screen from the neighboring multi-family units.

The tentative time schedule for the proposed development would be starting in the summer of 2016 and being completed in the summer of 2017.



December 8, 2015

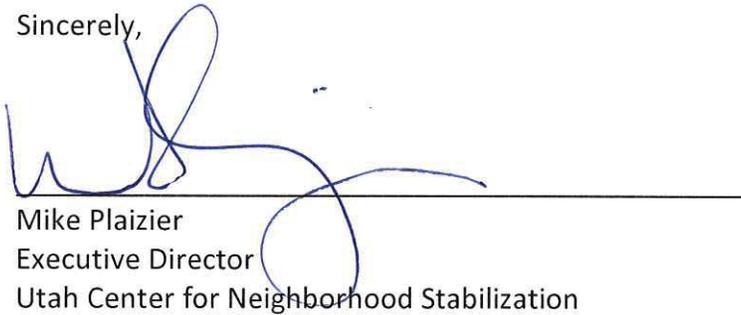
To Whom It May Concern:

After reviewing the attached site plan Utah Center for Neighborhood Stabilization and its affiliates (Housing Plus, Canyon Crossing at Riverwalk, Utah Center for Affordable Housing, Utah Small Business Growth Initiative, and Utah Equitable TOD Fund, LLC) firmly support the reduction in the landscape buffer as it affects our property.

We believe the development of an assisted living facility with its limited traffic and tenant demographic will be complementary to our community and the other surrounding uses.

Should you have any questions please feel free to contact me at 801-316-9112 or mike@utcns.com.

Sincerely,



Mike Plaizier
Executive Director
Utah Center for Neighborhood Stabilization

Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION: **BABCOCK MIDVALE SELF STORAGE PHASE TWO**

LOCATION: 621 W. Ninth Ave.
APPLICANT: James Johansen and Nichols Naylor Architecture
FILE #: SPR/CUP-21-25-153-002
REQUEST: Conditional Use Permit/Preliminary Site Plan
MEETING DATE: January 13, 2016
ZONING DESIGNATION: Clean Industrial
AUTHOR: Lesley Burns, City Planner
APPLICABLE ORDINANCE (S): 17-7-13.9 (B)(1)(e)
AGENDA #: 5

SUMMARY:

On November 18, 2015, the Planning Commission reviewed the proposed Babcock Midvale Self Storage Facility to be located at the southeast corner of 700 West and Ninth Avenue. At this meeting, the Planning Commission approved a conditional use permit and preliminary site plan (with conditions) for Phase One of the project and tabled a decision on the Phase Two area. The tabling was intended to provide the applicant an opportunity to address the ordinance issues and resubmit a plan for further review. The applicant has submitted a revised plan for the Phase Two area. This proposal includes the addition of two exterior access storage buildings (one that is 900 square feet and one that is 3,720 square feet, both ten feet in height), a defined driveway off of Ninth Avenue, a 30 foot landscaped setback along Ninth Avenue, a perimeter wall and decorative gate to enclose the storage unit area, and parking. The existing building would be converted and used for additional storage unit space.

Staff has reviewed this Phase Two area under the development/conditional use standards for an exterior access storage unit facility. The specific standards include:

- Facility must have a prominent office building component as viewed from the public road. Phase One of this project includes this component.
- Storage unit buildings shall be single story with a maximum height of ten feet when located on the property perimeter, or 25 feet if located interior to the site. The two new buildings being proposed along the Ninth Avenue frontage are ten feet in height. The existing building is 24 feet in height with no changes being proposed to the exterior, with the exception of exterior painting to match the rest of the project. Staff views this building as an existing condition of the site that can remain since no significant changes are being made.

- Buildings and drive aisles shall be designed to accommodate emergency vehicle access into the site. The proposed plan includes a 60 foot hammerhead turn around near the west end and a 25 foot wide driveway into the site off of Ninth Avenue. The Fire Marshal has found this to be acceptable for emergency access, provided the decorative gate is redesigned to ensure the required clearance for emergency vehicles between the proposed columns.
- An eight foot decorative masonry wall shall be constructed along the storage area perimeter. This wall may be increased to ten feet if found appropriate by the Planning Commission. The applicant has proposed eight foot perimeter wall sections adjacent to the two new storage unit buildings, as well as between the Phase One building and the existing building. The remainder of the perimeter of the storage unit area is enclosed by the storage building walls, including the existing building. For consistency, Staff would recommend that the eight foot wall section between the two new buildings be increased to ten feet.
- Decorative gates, providing for adequate vehicle stacking, are required across the access drive into the storage unit area. The applicant has proposed stone columns and decorative iron gates as shown on the plan. There is approximately 120 feet of stacking room for vehicles coming into the site. This exceeds the minimum two vehicles with trailers length required. The applicant will need to work with the Fire Marshal to ensure the driveway widths between the columns can accommodate emergency vehicles.
- Adequate parking is required. The parking for the office building was addressed in Phase One. The applicant is proposing 12 interior parking spaces and 12 parking spaces outside the gate area in Phase Two. Staff feels this provides sufficient parking for the overall project.
- Landscaping is required in areas and locations that benefit the community, including a minimum 30 foot landscape setback from the public right-of-way. The plan includes a 30 foot landscaped setback along Ninth Avenue, as well as landscaping along the access drive into the site and behind the existing building. The applicant will need to submit a landscape plan with the required street trees and other plantings, as well as an irrigation plan, as part of a final site plan. This plan will need to include a minimum five foot perimeter landscape area along the south side of the parking area located outside the entry gate.
- Appropriate lighting for security is required. The applicant will need to submit a security lighting plan for the interior storage unit area and a parking lot lighting plan that complies with the City's parking lot lighting standards for the parking area outside the gate.

The City Engineer and Fire Marshal have reviewed the revised Phase Two plan. They are comfortable with the proposed development layout, but will need to review and approve civil drawings and utility plans. The Fire Marshal will also require some slight modifications to the decorative gate to ensure adequate driveway width for emergency vehicles is being provided. The applicant has provided a location for a trash enclosure near the east side of the Phase One storage unit building. A detail for this enclosure will need to be included on the final site plan. Operational requirements for this Phase Two area will be the same as what was approved for Phase One.

STAFF RECOMMENDATION:

Provided the Planning Commission is comfortable with Staff’s interpretation that the existing building can remain, and is comfortable with the amount of parking being proposed, Staff recommends that this Phase Two area be incorporated into the approved Conditional Use Permit and Preliminary Site Plan for Phase One with the conditions listed in the recommended motion below. If the Planning Commission is not comfortable with any of these items, Staff recommends that the Planning Commission table a decision on the request, giving the applicant time to address the Planning Commission’s specific concerns.

RECOMMENDED MOTIONS:

“Based on compliance with the conditional use criteria for exterior access storage units and the development standards for the CI Zone district, I move that we incorporate the Phase Two area of the Babcock Midvale Self Storage project in the Conditional Use Permit and Preliminary Site Plan approval for Phase One of the project with the following conditions:

- 1. Phase Two cannot be developed independently of the Phase One area; all conditions of the Phase One approval remain valid.*
- 2. The applicant shall prepare civil drawings and utility plans to be reviewed and approved by the City Engineer and Fire Marshal.*
- 3. Exterior building colors shall be earth tones and match those colors of Phase One. The existing building shall be painted to match the new buildings.*
- 4. A landscape plan and irrigation plan shall be submitted for all areas outside the storage area perimeter. These plans shall comply with the City’s landscape and irrigation standards. A minimum five foot wide perimeter landscape area shall be added to the south side of the parking area outside the access gate.*
- 5. The decorative access gate shall be designed with appropriate driveway widths between the columns to accommodate emergency vehicles.*
- 6. The eight foot perimeter wall section between the two new buildings shall be raised to ten feet.*
- 7. The perimeter wall shall match the exterior walls of the buildings.*
- 8. An exterior lighting plan for security interior to the site and a parking lot light plan complying with the City’s lighting standards for the parking area outside the access gate shall be prepared.*
- 9. A stamped, colored concrete or asphalt walkway shall be provided across the driveway off of Ninth Avenue.*
- 10. A detail of the trash enclosure shall be provided.*
- 11. A final site plan shall be prepared in accordance with Section 17-3-3 E of the zoning ordinance and shall be reviewed and approved by the City Engineer, Fire Marshal and City Planner. The final site plan shall address the applicable conditions of this approval.”*

ATTACHMENTS:

- Vicinity Map
- Proposed Site Plan and Building Elevations

PUBLIC NOTICE: No Yes

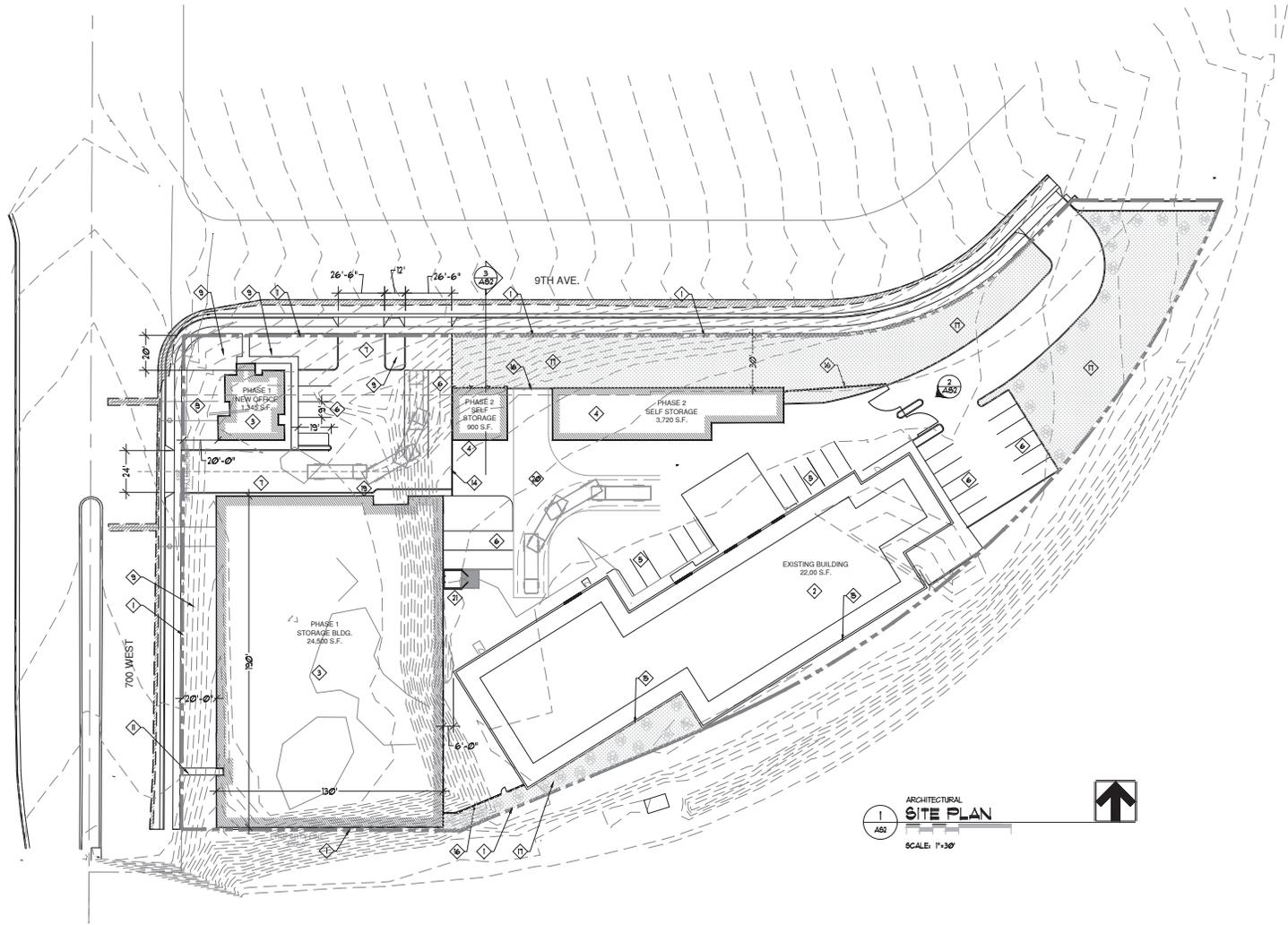


**Midvale Storage
621 W. Ninth Ave**

PROJECT SUMMARY	
PHASE TWO BUILDINGS:	
AT GRADE SELF STORAGE	
1 FLOOR @ 300' and 3,120 SF.	4,620 SF. TOTAL
EXISTING BUILDING	
1 FLOOR @ 22,000 SF.	22,000 SF. TOTAL

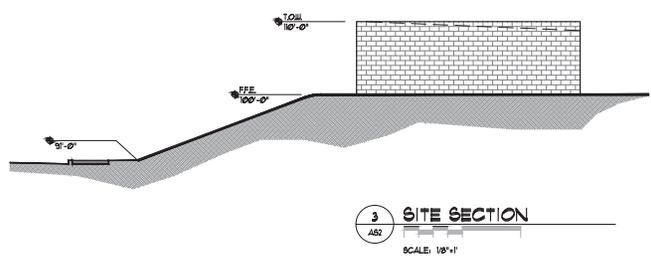
TOTAL AREA	26,620 SF.
PHASE ONE SUMMARY	
BUILDING AREA	26,620 SF.
SITE AREA	82,278 SF.
PAVED AREA	29,665 SF.
LANDSCAPE AREA	54,613 SF.

PROJECT TOTAL:	
TOTAL BUILDING AREA	54,000 SF.
TOTAL SITE AREA	106,577 SF. (ORIGINAL) 2.44 ACRE
TOTAL SITE AREA	129,324 SF. INCLUDING UDOT
TOTAL PAVED AREA	38,201 SF.
TOTAL LANDSCAPE AREA	33,642 SF.

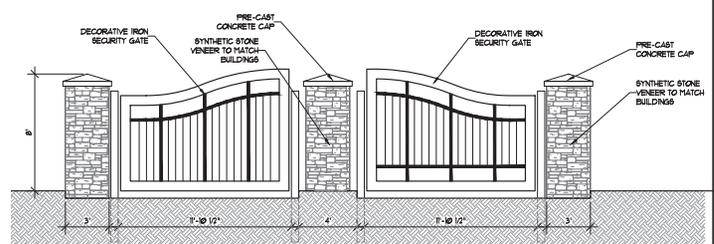


SITE KEY NOTES	
①	PROPERTY LINE
②	EXISTING BUILDING
③	NEW BUILDING
④	FUTURE PHASE-2 BUILDING
⑤	EXISTING STRIPED PARKING
⑥	NEW STRIPED PARKING
⑦	NEW ASPHALT PAVING ON ROAD BASE
⑧	EXISTING LANDSCAPED AREA
⑨	NEW LANDSCAPED AREA
⑩	EXISTING SIDEWALK
⑪	NEW SIDEWALK
⑫	NEW CONCRETE SIDEWALK CURB
⑬	NEW CONCRETE CURBS AND GUTTER
⑭	NEW CONCRETE RETAINING WALL WITH 42" HIGH GUARDRAIL
⑮	PAINT EXTERIOR OF EXISTING BUILDING WITH SIMILAR COLORS TO MATCH NEW CONSTRUCTION
⑯	NEW 8' HIGH CMU WALL
⑰	NEW LANDSCAPING PER MIDVALE CITY MUNICIPAL CODE
⑱	SECURITY GATE
⑲	F.D.C. LOCATION
Ⓜ	FIRE APPARATUS TURN AROUND
Ⓝ	NEW CHILL DUMPSTER ENCLOSURE

ARCHITECTURAL
SITE PLAN
 SCALE: 1"=30'



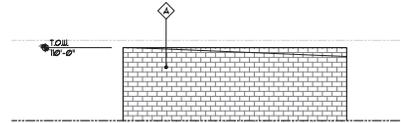
3 SITE SECTION
 SCALE: 1/8"=1'



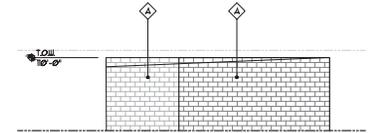
2 GATE ELEVATION
 SCALE: 1/4"=1'



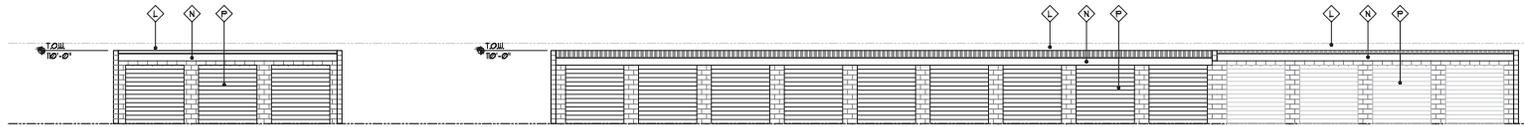
KEY NOTES	
◆	8"X8"X6" SPLIT FACE CP'LL COLOR 'A'
◆	8"X8"X6" SPLIT FACE CP'LL COLOR 'B'
◆	2-1/2" EIFS OVER CP'LL WALL - COLOR 'A'
◆	2-1/2" EIFS OVER CP'LL WALL - COLOR 'B'
◆	2-1/2" EIFS OVER CP'LL WALL - COLOR 'C'
◆	EIFS TRIM, 4" X 8"
◆	EIFS REVEAL
◆	ACM CANOPY
◆	STORERFRONT GLAZING
◆	SYNTHETIC STONE VENEER
◆	STANDING BEAM METAL ROOF
◆	8"X8"X6" SPLIT FACE CP'LL
◆	METAL PANEL INFILL BY STORAGE UNIT MFG.
◆	8'X8' OVERHEAD COOL DOOR



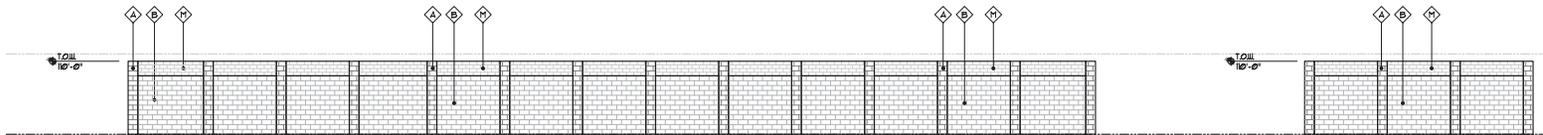
PHASE 2
4 WEST ELEVATION
SCALE: 1/8"=1'



PHASE 2
3 EAST ELEVATION
SCALE: 1/8"=1'



PHASE 2
2 SOUTH ELEVATION
SCALE: 1/8"=1'



PHASE 2
1 NORTH ELEVATION
SCALE: 1/8"=1'

ELEVATION NOTES	
⬠	EXISTING PRE-CAST CONCRETE PANEL TO BE PAINTED SHERWIN ULLIAMS 8020N NIGHT OIL
⬠	EXISTING DOOR TO BE PAINTED SHERWIN ULLIAMS 8070S1 NIGHT OIL
⬠	EXISTING WINDOW TO REMAIN, FRAME TO BE PAINTED TO MATCH SURROUNDING COLOR
⬠	EXISTING PRE-CAST CONCRETE PANEL TO BE PAINTED SHERWIN ULLIAMS 808-08B GREAT GRASS
⬠	
⬠	
⬠	

PROJECT NUMBER
15-30

REVISIONS

SHEET TITLE
EXISTING EXTERIOR ELEVATIONS

PROJECT/OWNER
BABCOCK MIDVALE SELF STORAGE
621 W 9TH AVE
MIDVALE, UT

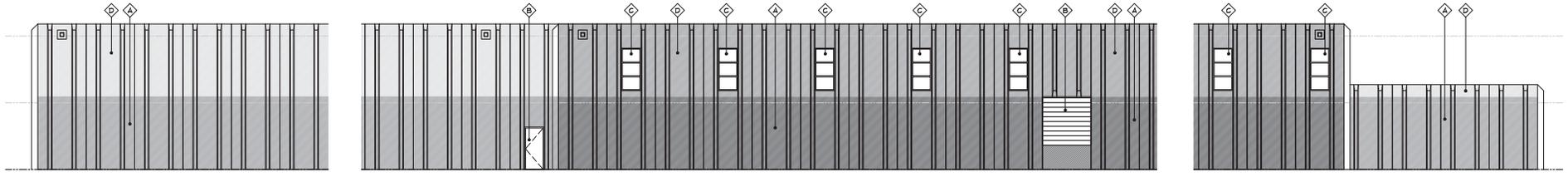
ARCHITECT

NICHOLS • NAYLOR
ARCHITECTS
1155 EAST WILMINGTON AVENUE SUITE 250
SALT LAKE CITY, UTAH 84106 (801) 487-3330

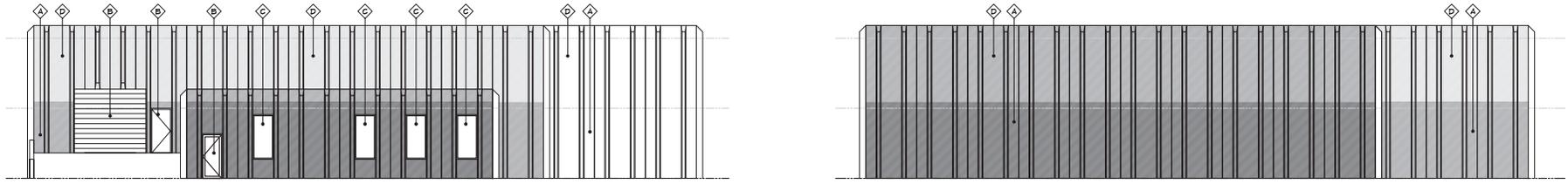


DATE
OCT 06, 2015

SHEET NUMBER
A2.5

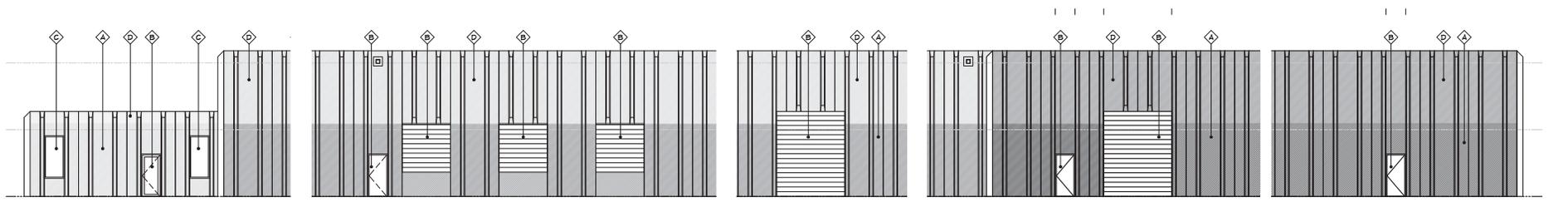


EXISTING
4 SOUTH ELEVATION
SCALE: 1/8"=1'



EXISTING
2 EAST ELEVATION
SCALE: 1/8"=1'

EXISTING
3 WEST ELEVATION
SCALE: 1/8"=1'



EXISTING
1 NORTH ELEVATION
SCALE: 1/8"=1'