



7505 South Holden Street
Midvale, UT 84047
Phone (801) 567-7200
www.midvalecity.org

**MIDVALE PLANNING AND ZONING COMMISSION MEETING
AGENDA
SEPTEMBER 14, 2016**

**WORKSHOP MEETING
COUNCIL CHAMBERS
6:00 PM**

- DISCUSSION ON LAND USE ISSUES, CITY ATTORNEY

**GENERAL SESSION
COUNCIL CHAMBERS
7:00 PM**

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC HEARING(S)

1. CUP-21-25-127-015; NUTRIX, LLC; 7174 SOUTH 400 WEST #1; CONDITIONAL USE PERMIT FOR MANUFACTURING USE; CLEAN INDUSTRIAL ZONE; JUSTIN HUNT (APPLICANT)
2. CUP-21-36-129-026; OAK STREET TWIN HOME; 7977 SOUTH OAK STREET; CONDITIONAL USE PERMIT FOR TWO-UNIT RESIDENTIAL STRUCTURE; SINGLE FAMILY RESIDENTIAL (SF-1)/DUPLEX OVERLAY; HASSAN SHAFIZADEH (APPLICANT)
3. CUP-21-26-226-012; D1 SPORTS TRAINING & THERAPY; 7111 SOUTH BINGHAM JUNCTION BOULEVARD; CONDITIONAL USE PERMIT FOR MEDICAL CENTER USE; BINGHAM JUNCTION ZONE/RIVERWALK OVERLAY
4. SSMP-21-26-22-009; RIVERWALK SHOPPING CENTER LOT 9; 7087 SOUTH BINGHAM JUNCTION BOULEVARD; SMALL SCALE MASTER PLAN; BINGHAM JUNCTION ZONE/RIVERWALK OVERLAY; WADSWORTH DEVELOPMENT GROUP (APPLICANT)

ACTION ITEM(S)

5. CUP-21-25-454-014; PARKER DUPLEX; 158 WEST CENTER STREET; AMENDMENT TO SITE PLAN; SINGLE FAMILY RESIDENTIAL ZONE (SF-1)/DUPLEX OVERLAY; DAVE WEBSTER (APPLICANT) (CONTINUED FROM 08-24-16 MEETING)

DISCUSSION

6. ANNUAL REVIEW OF PLANNING COMMISSION BYLAWS AND RULES OF PROCEDURE

MINUTES

7. REVIEW AND APPROVE MINUTES OF JUNE 8, 2016; JUNE 22, 2016; JULY 13, 2016;
AUGUST 10, 2016; AND AUGUST 24, 2016

ADJOURN

The workshop meeting is open to the public; however, there is no public participation. This meeting includes City Staff briefing Commission Members on the technical aspects of the agenda items. Members of the public will be given an opportunity to address the Commission during public hearing items in the general session. The Commission reserves the right to amend the order of the agenda if deemed appropriate. No item will be heard after 10:30pm without unanimous consent of the Commission. Items not heard will be scheduled on the next agenda. In accordance with the Americans with Disabilities Act, Midvale City will make reasonable accommodations for participation in the meeting. Request assistance by contacting the CED Administrative Assistant at (801) 567-7211, providing at least three working days advance notice of the meeting.

A copy of the foregoing agenda was provided to the news media by email and/or fax; the agenda was posted in the City Hall Lobby, the 2nd Floor City Hall Lobby, on the City's website at www.midvalecity.org and the State Public Notice website at <http://pnn.utah.gov>. Commission Members may participate in the meeting via electronic communication. Commission Members' participation via electronic communication will be broadcast and amplified so all Commission Members and persons present in the Council Chambers will be able to hear or see the communication.

Lesley Burns, City Planner

Dated this 7th Day of September, 2016

Midvale City
Department of Community Development
Planning and Zoning Department

Planning and Zoning Commission Staff Report

APPLICATION:	NUTRIX, LLC
LOCATION:	7174 South 400 West, #1
APPLICANT:	Justin Hunt
FILE #:	CUP-21-25-127-015
REQUEST:	CUP FOR MANUFACTURING USE
MEETING DATE:	Wednesday, September 14, 2016
ZONING DESIGNATION:	Clean Industrial (CI)
AUTHOR:	Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S):	MMC Chapter 17-3-4, Chapter 17-7-13.9
AGENDA #:	1

SUMMARY:

Justin Hunt representing the commercial business Nutrix, LLC submitted a complete application proposing to manage and operate a contract manufacturing business in an existing commercial building. The total acreage of this parcel is estimated to be 1.17 acres and consists of one (1) established commercial structure with six tenant spaces, forty-three (43) parking stalls, and associated landscaping elements.

The purpose of this business is to produce products for other businesses for the retail market. This establishment will have the ability to formulate, manufacture, package, design, and ship products for potential clients. The applicant has stated the most common/highest volume of products created consists of; toothpaste, mouthwash, natural oils and essential oils, lotions, and creams. The applicant proposes to occupy Units 1 & 2, the total square footage of this portion of the structure is estimated to be 7,233 square feet, and the applicant proposes to utilize a total of 17% (1,229.22 sq. ft.) of this space for the ‘manufacturing use’. Additional uses within this structure will also include; several office spaces, break area for employees, a warehousing/distribution area, and mechanical and restroom areas. Fifteen (15) parking stalls have been designated for this operation. The commercial operating hours are anticipated to be between the hours of 8:00 a.m. thru 5:00 p.m., Monday – Friday and closed on the weekends. The applicant anticipates a maximum of six (6) employees during the initial business hours.

The recommended amount of parking spaces for the proposed manufacturing use is calculated to be 1 per 5,000 square feet of net leasable building area. Based upon review of the submitted site plan, the amount of off-street parking required is six (6) for the manufacturing use and eight (8) for the additional uses. Based upon the applicant’s submitted site plan, the required amount of off-street parking for this specific business is sufficient.

The applicant has indicated that no further improvements are proposed such as; exterior facade lighting and outdoor parking lights. Since this proposed use is located on an existing developed parcel and the overall site or building mass size is not proposed to be altered, no further development standards or improvements are required.

This proposal is located within the Clean Industrial zone, which requires a Conditional Use Permit for a manufacturing use. In order to approve a Conditional Use Permit, the following applicable criteria must be satisfied:

1. The application complies with all applicable provisions of the zoning ordinance, state and federal law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the Midvale City General Plan, as amended;
5. Traffic conditions are not adversely effected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in §17-7-13.7;
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses; and
10. Exterior lighting that complies with the lighting standards of the zone and is designed to minimize conflict and light trespass with surrounding uses.

In reviewing this application and the above criteria, it appears this proposal will not be detrimental to the health, safety and welfare of people and businesses in the area. All improvements exist, with sufficient utility capacity and emergency vehicle access. Staff does not anticipate any adverse impacts being created by this proposed use, provided the business is operated in accordance with this proposal. Through the Business License process, all Building and Fire Code requirements shall be taken care of.

STAFF RECOMMENDATION:

Based on the proposal’s compliance with the Conditional Use Permit criteria and the above analysis, Staff would recommend that the Planning Commission approve the Conditional Use Permit for **Nutrix, LLC**, to be located at **7174 South 400 West, #1**, with the following conditions:

1. The applicant shall operate the business in a manner consistent with the business/group determination plan provided. Any proposed changes to the business shall be discussed and reviewed by the City for continued compliance and if necessary, additional review and approval to be performed by the Planning & Zoning Commission.
2. The applicant shall comply with all requirements of the Building Official and Fire Marshal.
3. The applicant shall obtain and maintain a Midvale City Business License in order to operate at this location.
4. All signage shall comply with the sign requirements for the CI zone and sign permits obtained before such signage is installed.

RECOMMENDED MOTION:

*“Based on the applicant’s compliance with the Conditional Use Permit criteria and the above analysis, I move to approve the Conditional Use Permit for **Nutrix, LLC** to be located at **7174 South 400 West, #1**, with the following conditions:*

1. *The applicant shall operate the business in a manner consistent with the business/group determination plan provided. Any proposed changes to the business shall be discussed and reviewed by the City for continued compliance and if necessary, additional review and approval to be performed by the Planning & Zoning Commission.*
2. *The applicant shall comply with all requirements of the Building Official and Fire Marshal.*
3. *The applicant shall obtain and maintain a Midvale City Business License in order to operate at this location.*
4. *All signage shall comply with the sign requirements for the CI zone and sign permits obtained before such signage is installed.”*

ADJACENT LAND USES:

North: Commercial businesses

South: Commercial businesses

East: Commercial businesses

West: Federal Highway – I-15

Clean Industrial (CI)

Clean Industrial (CI)

Clean Industrial (CI)

Federal Highway – I-15

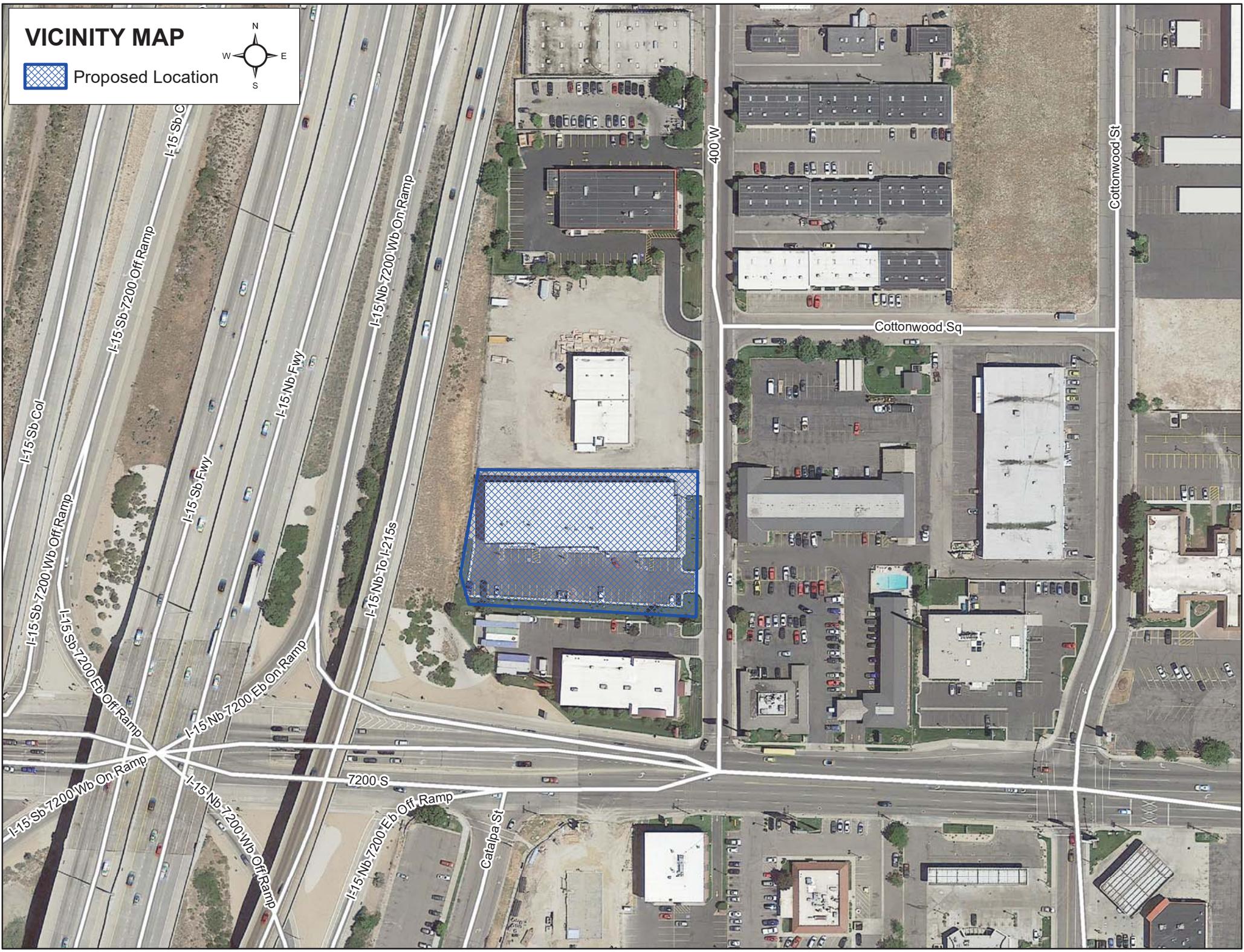
ATTACHMENTS:

- Vicinity Map
- Site Plan
- Submittal Documents
- Overall Parking Plan

PUBLIC NOTICE: No Yes

VICINITY MAP

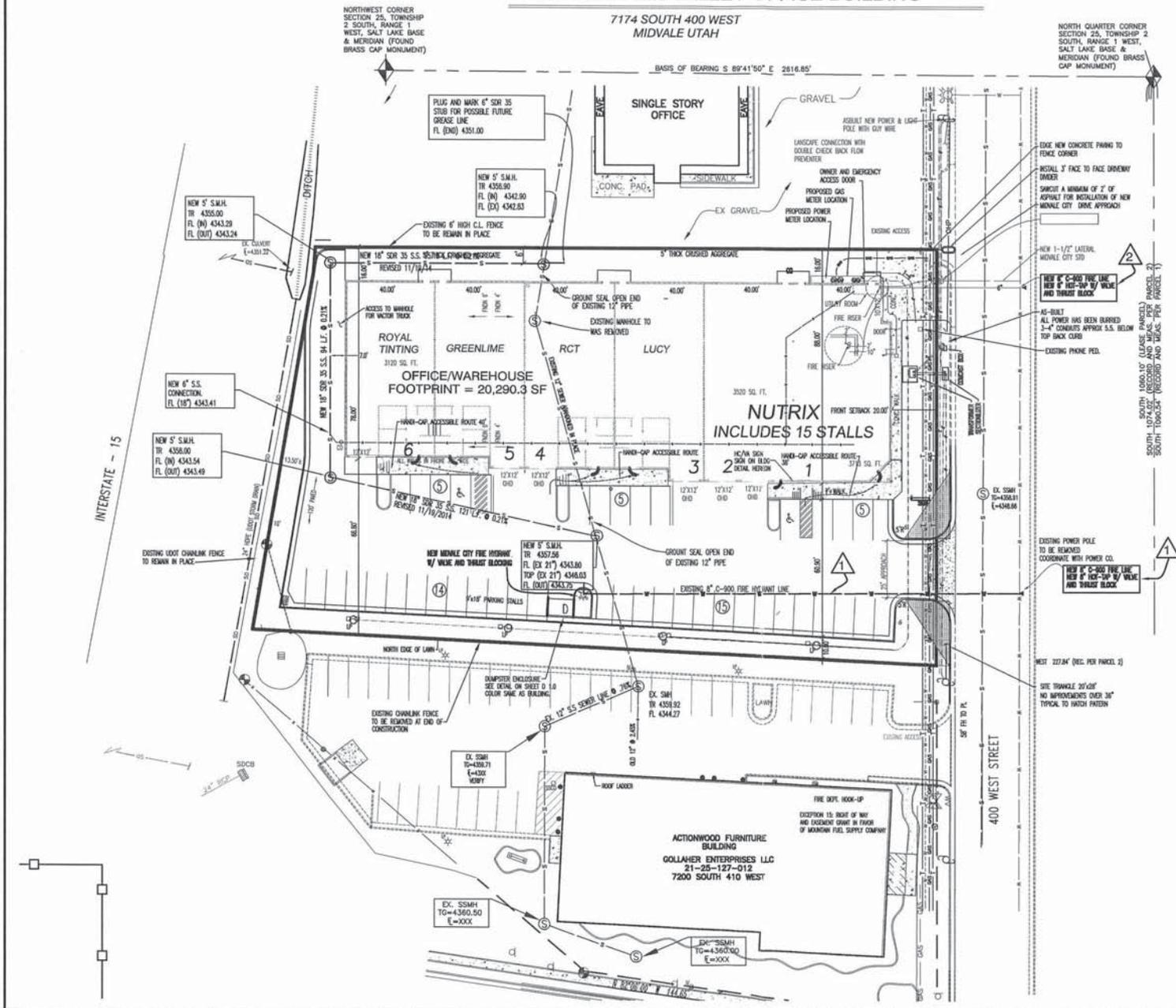
 Proposed Location



AS-BUILT MIDVALLEY OFFICE BUILDING

7174 SOUTH 400 WEST
MIDVALE UTAH

BASIS OF BEARING S 89°41'50" E 2616.85'



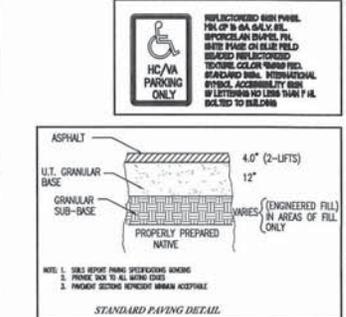
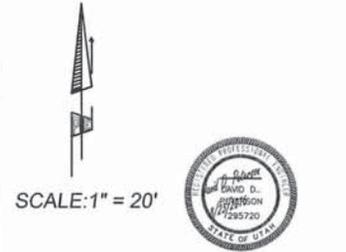
PETerson OFFICE - PARCEL 1 BOUNDARY DESCRIPTION
(COMMITMENT NO. 140221, SCHEDULE A)

PARCEL 1
A PARCEL OF LAND SITUATED WITHIN THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL, SAID CORNER LIES SOUTH 1000.07 FEET AND WEST 237.87 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 25, AND FINISHING THENCE NORTH 90°25'40" EAST 198.89 FEET, TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE WEST 207.45 FEET TO THE NORTHWEST CORNER OF SAID PARCEL; SAID NORTHWEST CORNER INTERSECTS THE EXISTING RIGHT-OF-WAY LINE OF I-15; THENCE ALONG SAID RIGHT-OF-WAY LINE OF I-15 THE FOLLOWING 4 COURSES: SOUTH 04°10'01" WEST 10.65 FEET; THENCE SOUTH 07°41'14" WEST 122.11 FEET; THENCE SOUTH 15°40'00" EAST 63.66 FEET; THENCE SOUTH 49°37'30" EAST 88.14 FEET; THENCE LEAVING SAID RIGHT-OF-WAY LINE OF I-15, AND FINISHING NORTH 37°19'53" EAST 107.30 FEET; THENCE SOUTH 87°15'30" EAST 130.01 FEET, TO THE POINT OF BEGINNING.

PARCEL NO. 2:
BEGINNING AT A POINT WHICH LIES ON THE WESTERLY RIGHT-OF-WAY LINE OF 400 WEST STREET, SAID POINT ALSO LIES SOUTH 1000.55 FEET AND WEST 227.87 FEET FROM THE NORTH QUARTER CORNER OF SECTION 25, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AND FINISHING THENCE NORTH 07°25'40" EAST ALONG SAID RIGHT-OF-WAY LINE OF 400 WEST STREET 200.17 FEET; THENCE WEST 15.00 FEET TO THE NORTHEAST CORNER OF THE FIRST ABOVE DESCRIBED PARCEL; THENCE SOUTH 07°25'40" WEST, ALONG THE EXISTING BOUNDARY LINE OF FIRST ABOVE DESCRIBED PARCEL, 198.89 FEET TO THE SOUTHWEST CORNER OF SAID FIRST DESCRIBED PARCEL; THENCE SOUTH 87°15'30" EAST 10.61 FEET TO THE POINT BEGINNING.

LESS AND EXCEPT THEREFROM THE FOLLOWING:
BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF 400 WEST STREET AS INDICATED BY PLAT RECORDED IN BOOK 75 OF PLATS AT PAGE 75 AS RECORDED WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER, SAID POINT BEING SOUTH 10°14'02" WEST AND WEST 227.84 FEET FROM THE NORTH QUARTER CORNER OF SECTION 25, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AND FINISHING THENCE SOUTH 07°25'40" WEST ALONG SAID RIGHT-OF-WAY LINE 15.00 FEET; THENCE SOUTH ALONG SAID RIGHT-OF-WAY LINE 0.48 FEET; THENCE NORTH 87°15'30" WEST 140.02 FEET; THENCE SOUTH 37°19'53" WEST 107.68 FEET TO THE EXISTING RIGHT-OF-WAY LINE AND NO ACCESS LINE OF INTERSTATE 15; THENCE NORTH 49°37'30" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE 88.14 FEET; THENCE NORTH 15°40'00" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE 58.94 FEET TO A POINT ON THE SOUTH BUILDING LINE EXTENDING THENCE SOUTH 87°15'30" EAST + ALONG SAID SOUTH BUILDING LINE AND LINE EXTENDING 208.32 FEET TO THE POINT OF BEGINNING.

CONTAINS: 51,028.15 SQ. FT. AS COMBINED



LEGEND:

—	EX WATER LINE	⊕	WATER HYDRANT
—	EX SANITARY SEWER	⊕	WATER METER
—	EX OVERHEAD POWER	⊕	WATER VALVE
—	PROPERTY SETBACK LINE	⊕	GAS METER/BOX
—	RIGHT OF WAY LINE	⊕	SEWER MAN HOLE
—	PROPERTY LINE	⊕	DRAINAGE INLET BOX
—	EDGE OF ASPHALT	⊕	LIGHT FIXTURE
—	PARKING STALL COUNT	⊕	ARR-CONDITIONING UNIT
—	ELECTRICAL METER	⊕	SCHEDULE B EXCEPTIONS
—	SECTION CORNER	⊕	CITY MONUMENT

PETERSON ENGINEERING P.C.
CIVIL ENGINEERS & LAND SURVEYORS
11515 SOUTH 1000 WEST, SUITE 401
MIDVALE, UTAH 84047-1001
801-955-5503 FAX: 801-955-4502

NO.	DATE	BY	REVISION
1	11/19/2014	D.PETERSON	ISSUED FOR PERMIT
2	11/19/2014	D.PETERSON	REVISIONS
3	11/19/2014	D.PETERSON	REVISIONS
4	11/19/2014	D.PETERSON	REVISIONS
5	11/19/2014	D.PETERSON	REVISIONS
6	11/19/2014	D.PETERSON	REVISIONS
7	11/19/2014	D.PETERSON	REVISIONS
8	11/19/2014	D.PETERSON	REVISIONS
9	11/19/2014	D.PETERSON	REVISIONS
10	11/19/2014	D.PETERSON	REVISIONS

AS-BUILT SITE & UTILITY PLAN
PETERSON OFFICE
7174 SOUTH 400 WEST
MIDVALE UTAH

SHEET NO. **C 1.0**
C-13-095

NUTRIX (<http://www.nutrixusa.com>)

COMPANY ABOUT US

Are you ready to take
your products to market?
(*required field)

Name*
Email*
Company
Phone*
About you, product, quantity*

SEND REQUEST

Who We Are

We are a solutions driven contract manufacturing, private label, and design company. Our team is made up of professionals with experience in formulation, manufacturing, packaging, design, fulfillment, shipping, engineering, and quality. Nutrix is made up of a team of fast moving individuals that are highly trained and customer centric.

What We Do

We take your idea, turn it into reality and we do it quickly. It doesn't matter what size your order is we can help. From smaller runs for those just starting out to the larger customer runs or batches, we can accommodate you. Simply put, when Nutrix was founded, the owners put an emphasis on the most versatile and efficient equipment. Because of our careful planning, we can turn your orders around quickly and economically for the highest quality product.

What You Can Do



Get your ideas turning and give us a call or fill out the request form above. Together we can get the best products to the market. Lets get started!

OR CALL
1.855.688.7495
to speak with a representative now!

Who is Nutrix?

Contract Manufacturer

Are you ready to take your products to market? From concept to completion, Nutrix develops your big ideas or existing formulas into viable finished products manufactured in our state-of-the-art NSF ISO Certified facility in Salt Lake City, Utah.



Custom Formulator

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Quality Focused & Compliant

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Design Centric

Manufacturing a quality product is only half the battle in creating something that is destined for market success. Our award-winning graphic design team has over two decades of experience in high-end product and packaging design. Take advantage of our world-class in-house design services!

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(<https://plus.google.com/u/0/b/106265339808518627027/10626533980>)

Contact Us
Tel: 1.855.688.7495
info@nutrixusa.com

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CONTRACT MANUFACTURING LOW MOQs

Are you ready to take
your products to market?
(*required field)

Name*
Email*
Company
Phone*
About you, product, quantity*

SEND REQUEST

Contract Manufacturing

Personal Care Contract Manufacturing/Custom Formulations:

- Contract Manufacturing
Despite if you already have a product developed or just an idea, we can help you. With our expert research and development team and committed project managers, Nurix is among the very best in health and wellness contract manufacturing. We specialize in the following manufacturing capabilities:
- FORMULATING/MIXING Capabilities:
 - Liquids
 - Creams
 - Lotions
 - Oils



- Toothpaste
- Gel
- FILLING: After your product is formulated, we can then fill and package your product into any type of container such as tubes or bottles Our equipment is versatile and generally doesn't require specialized tooling.
- Formulation Development
 - We have our own lab to develop your products. Simply tell us what you want, and we make it! Our team of formulation experts love to develop new products. You can also choose a more affordable stock formula.

OR CALL
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 to speak with a representative now!

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OFFLINE
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PRIVATE LABELING

→ WORLD-CLASS BRANDING & DESIGN

Are you ready to take
your products to market?
(*required field)

Name*
Email*
Company
Phone*
About you, product, quantity*

SEND REQUEST

Private Labeling

Private Label Products/In house branding and design

- Let us help you design your products label. Our customers are amazed at the quality of our design solutions as well as the turnaround times.

Ready-to-Ship Solutions/Proven and Popular Sellers

- Ready-to-ship solutions:

Nutrix carries on-hand inventory for various types of products including nutritional and dietary supplements. Many of these products are ready to be shipped today with our label on them! We have many proven and popular selling products ready to go. Just give us a call and your wholesale business will up and running. Nutrix ships products internationally and has various shipping solutions to get your product delivered quickly and efficiently.

Proven and Popular Sellers:



- If a product is hot, there is a good chance Nutrix already has it in stock, just waiting for your label. We try to stay on top of the market trends for personal care products and can often ship to you within the next day of your order.
- Examples of products are as follows, but can expand with your requests:
 - Private Label Skin Care (<http://www.nutrixusa.com/private-label-creams-serums/>)
 - Private Label Toothpaste (<http://www.nutrixusa.com/private-label-toothpaste-manufacturer/>)
 - Private Label Mouthwash (<http://www.nutrixusa.com/private-label-mouthwash-manufacturers/>)
 - Private Label Cosmetics
 - Private Label Oral Care (<http://www.nutrixusa.com/toothpastes-and-mouthwashes-2/>)
 - Private Label Creams (<http://www.nutrixusa.com/private-label-skin-creams/>)
 - Private Label Lotions
 - Private Label Skin Serums (<http://www.nutrixusa.com/private-label-creams-serums/>)
 - Private Label Essential Oils (<http://www.nutrixusa.com/essential-oils/>)
 - Private Label Liquid Supplements
 - Private Label Liquids

More Custom Formulations and Private Label Products Are Possible

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From: Justin Hunt <justin@nutrixusa.com>
Sent: Thursday, August 25, 2016 11:00 AM
To: Matthew Hilderman
Cc: Dustin Eberspacher
Subject: Re: CUP Application
Attachments: Midvale Layout - MFG Layout (1).pdf

Hi Matt,

See answers below in blue. Also see attached drawings with the details requested. Please let me know if anything else is needed.

Thanks!

Justin

On Wed, Aug 24, 2016 at 2:26 PM, Matthew Hilderman <mhilderman@midvale.com> wrote:

Justin –

I received an application for the proposed Nutrix LLC use at 7174 S 400 W Unit 1. I will need some additional information before I can finish processing and placing on the Planning Commission agenda. Please address the following:

- The total fee for this application is \$255.39 I'll call you later to pay for this over the phone. Thanks.
- Please provide more detail concerning your business description; where will you be manufacturing? On the drawings I've highlighted areas that will have manufacturing and packaging. Will sales be conducted from this location? Yes, we only have one sales representative as of now, but he does have an office in this building on the upper level (see drawing). What types of personal care products are being created? Our website (www.nutrixusa.com) is probably the best place to get a good idea of our capabilities, however, here is a basic list of our most common/highest volume products: Toothpaste, mouthwash, natural oils (coconut, argan, jojoba, essential oils, etc.). We don't have our own branded products and all the products we produce are for other businesses (all contract manufacturing). Additional information that will help describe the proposed business and educate the Planning Commission and Staff. Part of our business is developing new products in our lab. Essentially our customers come to us with an idea of a product and we are a turn-key contract manufacturing solution (development, manufacture, delivery). Nearly half of the products we produce are eventually exported outside of the USA and we're proud to be a "made in the USA" manufacturer. We also are unique as we can offer organic products as well. We are certified by the USDA with an organic certification, and we have also received our ISO 9000:2015 certification for our quality management system.

- Please provide a site plan of the interior space with dimensions. Are you occupying Unit 1 and Unit 2? Yes, I believe the owners (the Peterson's) have the space divided into two units, but there is no wall or division between the units. For mailing/shipping purposes, we just call it Unit 1. Please identify where the manufacturing will take place; employee office space(s); reception area; restrooms; break room(s); etc. See attached. You have identified 15 parking stalls for your use, which specific parking stalls are allocated for your business? I believe the Peterson's included this on the original drawing submitted with our application. Can you double check that? If not, I can request it from Dave Peterson.

Please provide this information by Friday, August 26th so we can finish processing this application and place on the September 14th meeting agenda, otherwise the next available meeting this can be placed on is the September 28th meeting date, pending completion of the application.

If you have any further questions or concerns please feel free to contact our office.

Thanks –

Matt Hilderman

Midvale City Associate Planner

7505 South Holden Street

Midvale, Utah 84047

(w) [801-567-7231](tel:801-567-7231)

mhilderman@midvale.com

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JUSTIN M. HUNT
Partner / Operations

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www.nutrixusa.com

NUTRIX



Registered
to ISO 9001



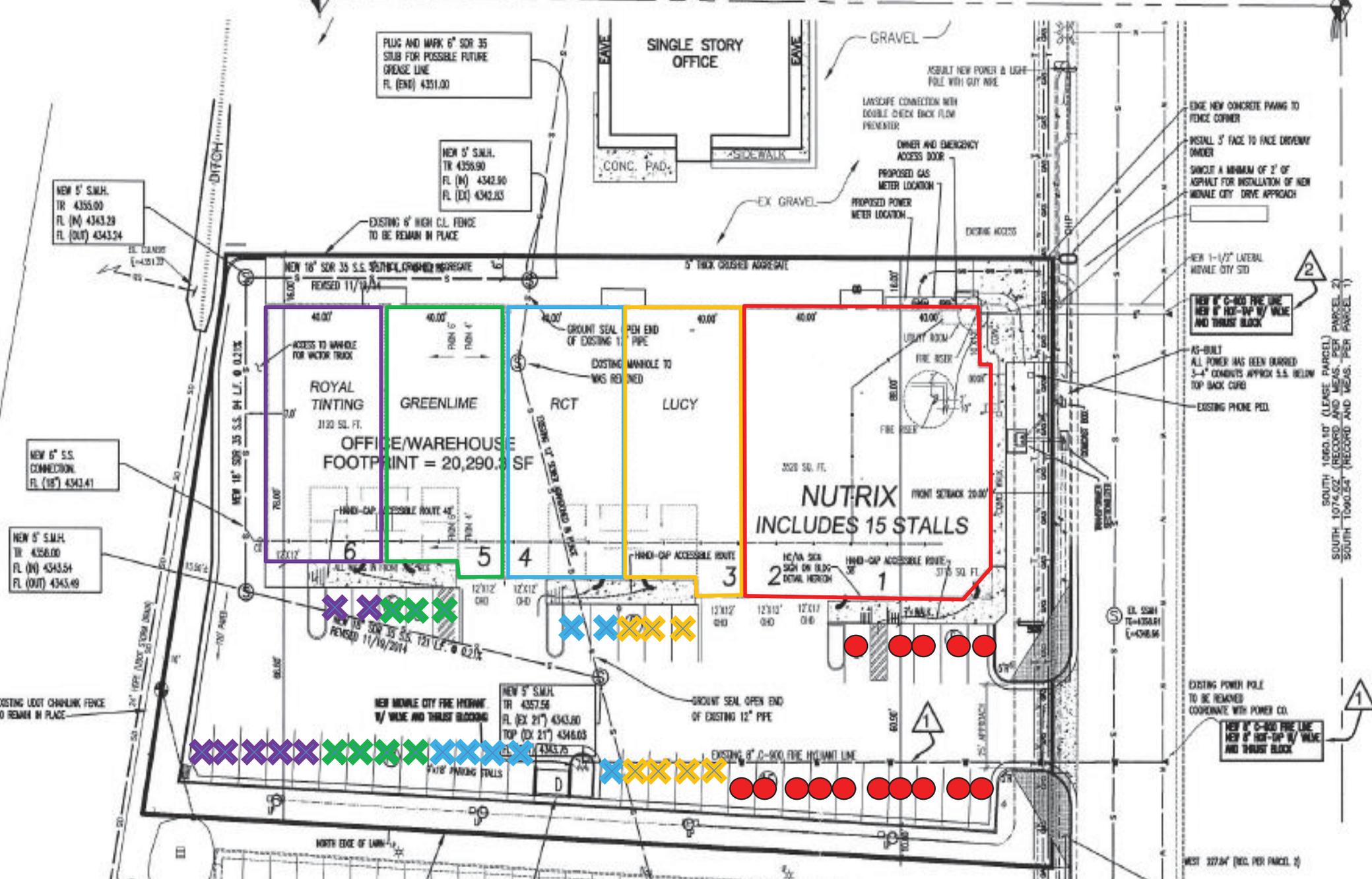
AS-BUILT MIDVALLEY OFFICE BUILDING

7174 SOUTH 400 WEST
MIDVALE UTAH

NORTHWEST CORNER
SECTION 25, TOWNSHIP
2 SOUTH, RANGE 1
WEST, SALT LAKE BASE
& MERIDIAN (FOUND
BRASS CAP MONUMENT)

NORTH QUARTER CORNER
SECTION 25, TOWNSHIP 2
SOUTH, RANGE 1 WEST,
SALT LAKE BASE &
MERIDIAN (FOUND BRASS
CAP MONUMENT)

BASIS OF BEARING S 89°41'50" E 2616.85'



PLUG AND MARK 6" SOR 35
SILB FOR POSSIBLE FUTURE
GREASE LINE
FL (END) 4351.00

NEW 6" S.M.H.
TR 4356.90
FL (N) 4342.90
FL (E) 4342.05

NEW 6" S.M.H.
TR 4355.00
FL (N) 4343.28
FL (OUT) 4343.24

NEW 6" S.S.
CONNECTION
FL (18") 4343.41

NEW 6" S.M.H.
TR 4356.00
FL (N) 4343.54
FL (OUT) 4343.49

EXISTING LOCK CHAINLINK FENCE
TO REMAIN IN PLACE

NEW MIDVALE CITY FIRE HYDRANT
W/ VALVE AND THRUST BLOCKING

NEW 6" S.M.H.
TR 4357.56
FL (EX 21") 4343.80
TOP (EX 21") 4346.03
FL (E) 4343.75

GROUND SEAL OPEN END
OF EXISTING 12" PFE

EXISTING POWER POLE
TO BE REMOVED
COORDINATE WITH POWER CO.

NEW 6" C-800 FIRE LINE
NEW 6" HOT-UP W/ VALVE
AND THRUST BLOCK

SOUTH 1060.10' (LEASE PARCEL)
SOUTH 1074.62' (RECORD AND MEAS. PER PARCEL 2)
SOUTH 1090.54' (RECORD AND MEAS. PER PARCEL 1)

WEST 327.64' (REC. PER PARCEL 1)

Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION: Oak Street Twin Home

LOCATION: 7977 S. Oak Street

APPLICANT: Hassan Shafizadeh

REQUEST: Conditional Use Permit for two-unit residential structure

MEETING DATE: September 14, 2016

ZONING DESIGNATION: SF-1 Duplex Overlay

AUTHOR: Lesley Burns, City Planner

APPLICABLE ORDINANCE (S): Sections 17-7-1.4, 17-7-1.11, 17-7-1.14

AGENDA #: 2

SUMMARY:

The applicant, Hassan Shafizadeh, is requesting approval to construct a two-unit residential structure (twin home) on a vacant parcel located at 7977 South Oak Street. This parcel has public road frontage on two sides, the west and the south, with Oak Street wrapping around the corner and eventually intersecting with Wasatch Street. In November 2013, the Planning Commission approved this same request, as well as a two-lot subdivision plat so each unit could be individually owned. This subdivision plat was approved by the City Council in March 2014. The applicant, however, was unable to move forward with the project at that time. He is now ready to complete the project. Although the subdivision plat was recorded and remains in effect, Conditional Use Permits expire one year from the date of approval if not utilized. Because the original Conditional Use Permit lapsed, the applicant has resubmitted the application and development plans for approval of the two-unit residential structure. Development standards for this type of use and structure have not changed since the original approval.

This property is zoned Single Family Residential (SF-1) with a Duplex Overlay. The overall property includes 11,383 square feet, which has been divided into two lots for a two-unit residential structure to be constructed with its common wall to be located along the center lot line. The Duplex Overlay allows two-unit residential structures as a Conditional Use, provided the general conditional use criteria are satisfied. These applicable criteria include the following:

1. The application complies with all applicable provisions of this title, State and Federal Law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the Midvale City General Plan, as amended;

5. Traffic conditions are not adversely effected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in §17-7-1.8;
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses;
10. Compatibility of the proposed mass, bulk, design, orientation, and location of the structures on the site, including compatibility with buildings on adjoining lots and to the street.

The applicant is proposing a two-story structure with a two-car garage for each unit. This structure complies with the maximum building height for this zone. The zone allows 28 feet in height measured from existing grade to the midpoint of the roof; the proposed structure is 26 feet in height. The site plan shows that the proposed structure complies with the setbacks for the SF-1 (DO) zone district, which requires a minimum 30 foot front yard from both road frontages and eight foot side yards. Under the Zoning Ordinance, corner lots have two front yards, two side yards, and no rear yard for purposes of lot dimensions and setbacks. The proposed structure is located in such a manner as to have 30 foot front yard setbacks, a 20 foot setback from the north property line, and a 14 foot setback from the east property line.

This proposal is in a unique location. With the exception of the house to the north, the surrounding uses include roads and utility structures. With the proposed 20 foot setback from the north property boundary, Staff does not believe there are any unreasonable impacts being created. There is also an existing six foot high wood fence along the north property boundary. The existing development along Oak Street is residential in nature. It is a mix of single family, duplexes and small multi-family residential structures. Adequate off-street parking is being provided with the two-car garages and potential guest parking in the approximate 30-foot driveway lengths. The City Engineer has reviewed and approved the proposed driveway locations. The Zoning Ordinance requires that the front and side yards of the structure (where visible from the road) be landscaped. This landscaping needs to include six street trees along the property frontage as required by the subdivision plat. A residential landscape plan will need to be submitted as part of the Building Permit Application. The landscaping will need to be completed or guaranteed with a cash bond prior to a certificate of occupancy being issued for the units in the structure.

This is a residential area that has sufficient existing utilities and infrastructure available for existing and new development. This proposal will not significantly increase traffic or be detrimental to the public health, safety and welfare.

STAFF RECOMMENDATION:

Staff would recommend approval of the Conditional Use Permit allowing a two-unit residential structure on the property with the conditions stated below.

RECOMMENDED MOTION:

“Based on compliance with the conditional use criteria and zoning requirements for the SF-1 zone district, I move that we approve the Conditional Use Permit for the two-unit residential structure to be located at 7977 South Oak Street with the following conditions:

- 1. The structure shall be constructed as shown on the attached building elevations and site plan.*
- 2. Exterior building materials shall be earth tone colors and shown on the plans submitted with the Building Permit application.*
- 3. The front and side yards of the structure, where visible from the public road, are required to be landscaped. The applicant shall submit a residential landscape plan as part of the Building Permit application. The plan shall include the six street trees required for the subdivision plat. This landscaping shall be completed or guaranteed with a cash bond prior to certificates of occupancy being issued for the units.”*

ADJACENT LAND USES:

North: SF-1 (Residential)

South: public road (Oak St./Wasatch St.)

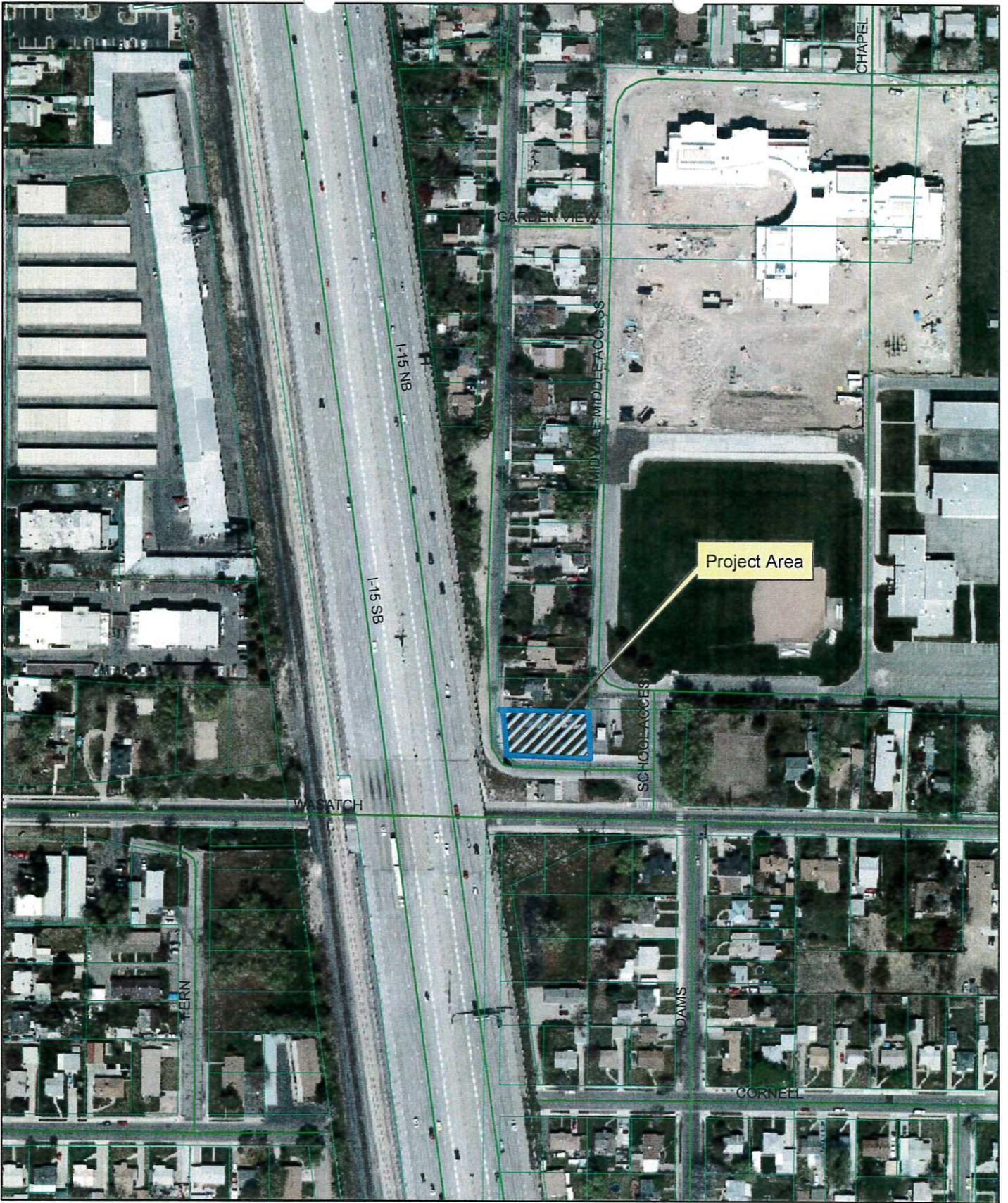
East: SF-1 (public utilities)

West: I-15

ATTACHMENTS:

- Vicinity Map
- Site Plan
- Building Elevations

PUBLIC NOTICE: No Yes



**Oak Street Duplex
7977 S. Oak Street**

Midvale City
Department of Community Development
Planning and Zoning Department

Planning and Zoning Commission Staff Report

APPLICATION:	D1 SPORTS TRAINING & THERAPY
LOCATION:	7111 South Bingham Junction Boulevard
APPLICANT:	Marty Biljanic, Senior Project Manager
FILE #:	CUP-21-26-226-012
REQUEST:	CUP FOR MEDICAL CENTER USE
MEETING DATE:	Wednesday, September 14, 2016
ZONING DESIGNATION:	Bingham Junction – Subarea 5 – Urban Riverwalk Overlay– Subarea 5 – Retail/Office/Flex
AUTHOR:	Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S):	MMC Chapter 17-3-4, Chapter 17-7-9 Chapter 17-7-9.12.1
AGENDA #:	3

SUMMARY:

Marty Biljanic, authorized agent representing the commercial business Sports Med Properties, submitted a complete application proposing to manage and operate a sports educational center in an existing commercial building. The total acreage of this lot is estimated to be 2.61 acres and consists of one (1) established commercial structure, one hundred and twenty-five (125) parking stalls, and associated landscaping elements.

The purpose of this business is to provide training and rehabilitation for a variety of athletes ranging in ages from secondary and high school to professional athletes. An ‘athletic, tennis, health club’ is an allowed use within this zone district and defined as, “an establishment that provides for aerobic exercises, running and jogging, exercise equipment, game courts, swimming facilities, saunas, and showers and lockers,” however; the physical therapy and rehabilitation center use relates to a ‘hospital, medical center’ use and defined as, “an institution specializing in clinical, temporary or emergency medical services to humans and/or licensed by the State to provide diagnosis, treatment, surgery, obstetrics, and general medical practice,” thus the purpose for requiring a conditional use permit for this proposed use.

The applicant proposes to occupy the west portion of the structure, the total square footage of this portion of the structure is estimated to be 15,122 square feet, and the applicant proposes to utilize a total of 11% (1,663.42 sq. ft.) of this space for the ‘hospital, medical center use’. Additional uses within this structure will also include; a training/gym area, enclosed entrance with reception area, break area for employees, office space, and shower and locker rooms. One hundred and twenty-four (124) parking stalls have been designated for this operation. The commercial operating hours are anticipated to be between the hours of 5:00 a.m. thru 9:00 p.m., Monday – Saturday and closed on Sunday’s. The applicant anticipates a maximum of six (6) employees during the estimated business hours with a total cliental of one to three (1 to 3) per hour.

The recommended amount of parking spaces for the proposed hospital, medical center use is calculated to be 1 per 5,000 square feet of net leasable building area. Based upon review of the submitted site plan, the amount of off-street parking required is eight (8) for the medical center use and thirty-three (33) for the additional uses. Based upon the applicant’s submitted site plan, the required amount of off-street parking for this specific business is sufficient.

The applicant has indicated that no further improvements are proposed such as; exterior facade lighting and outdoor parking lights. Since this proposed use is located on an existing developed parcel and the overall site or building mass size is not proposed to be altered, no further development standards or improvements are required.

This proposal is located within the Bingham Junction – Riverwalk Overlay zones, which requires a Conditional Use Permit for a hospital, medical center use. In order to approve a Conditional Use Permit, the following applicable criteria must be satisfied:

1. The application complies with all applicable provisions of the zoning ordinance, state and federal law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the Midvale City General Plan, as amended;
5. Traffic conditions are not adversely effected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in §17-7-13.7;
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses; and
10. Exterior lighting that complies with the lighting standards of the zone and is designed to minimize conflict and light trespass with surrounding uses.

In reviewing this application and the above criteria, it appears this proposal will not be detrimental to the health, safety and welfare of people and businesses in the area. All improvements exist, with sufficient utility capacity and emergency vehicle access. Staff does not anticipate any adverse impacts being created by this proposed use, provided the business is operated in accordance with this proposal. Through the Business License process, all Building and Fire Code requirements shall be taken care of.

STAFF RECOMMENDATION:

Based on the proposal’s compliance with the Conditional Use Permit criteria and the above analysis, Staff would recommend that the Planning Commission approve the Conditional Use Permit for **D1 Sports Training & Therapy**, to be located at **7111 South Bingham Junction Boulevard**, with the following conditions:

1. The applicant shall operate the business in a manner consistent with the business/group determination plan provided. Any proposed changes to the business shall be discussed and reviewed by the City for continued compliance and if necessary, additional review and approval to be performed by the Planning & Zoning Commission.
2. The applicant shall comply with all requirements of the Building Official and Fire Marshal.
3. The applicant shall obtain and maintain a Midvale City Business License in order to operate at this location.
4. All signage shall comply with the sign requirements for the BJ/RWO zone and sign permits obtained before such signage is installed.

RECOMMENDED MOTION:

*“Based on the applicant’s compliance with the Conditional Use Permit criteria and the above analysis, I move to approve the Conditional Use Permit for **DI Sports Training & Therapy**, to be located at **7111 South Bingham Junction Boulevard**, with the following conditions:*

- 1. The applicant shall operate the business in a manner consistent with the business/group determination plan provided. Any proposed changes to the business shall be discussed and reviewed by the City for continued compliance and if necessary, additional review and approval to be performed by the Planning & Zoning Commission.*
- 2. The applicant shall comply with all requirements of the Building Official and Fire Marshal.*
- 3. The applicant shall obtain and maintain a Midvale City Business License in order to operate at this location.*
- 4. All signage shall comply with the sign requirements for the BJ/RWO zone and sign permits obtained before such signage is installed.”*

ADJACENT LAND USES:

North: Commercial businesses	BJ/RWO (Bingham Junction/Riverwalk Overlay)
South: Commercial businesses	BJ/RWO (Bingham Junction/Riverwalk Overlay)
East: Commercial businesses	BJ/RWO (Bingham Junction/Riverwalk Overlay)
West: Commercial businesses	BJ/RWO (Bingham Junction/Riverwalk Overlay)

ATTACHMENTS:

- Vicinity Map
- Site Plan
- Submittal Documents

PUBLIC NOTICE: No Yes

VICINITY MAP

 Proposed Location



Bingham Junction Blvd

Jordan River Blvd

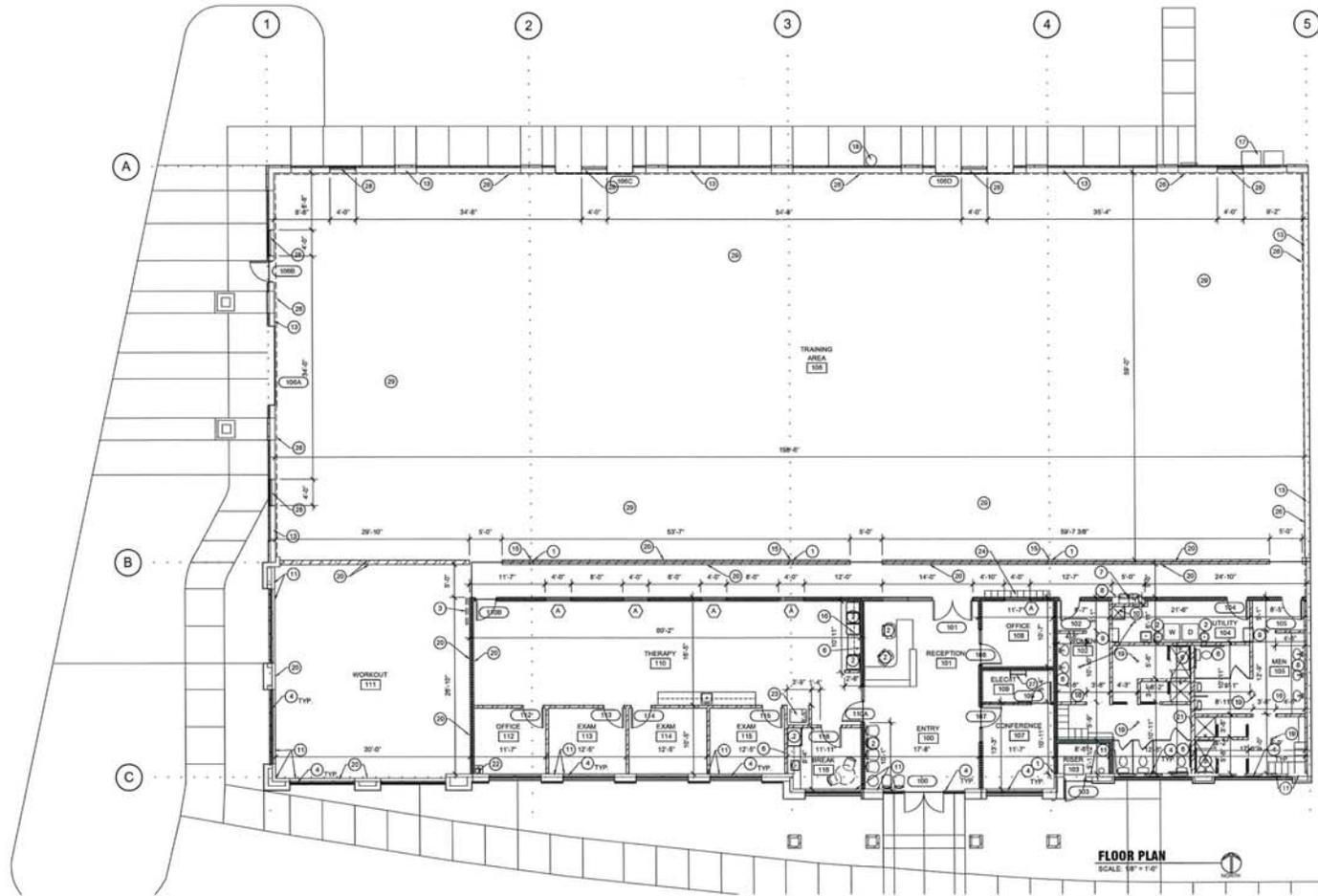
Grandeur View Wy

700 W

7200 S

Main St

Commerce Park Dr



FLOOR PLAN
SCALE 1/8" = 1'-0"

WALL LEGEND	
	NEW WALL CONSTRUCTION. SEE DETAIL 8A2.1.
	FULL HT. CONSTRUCTION. SEE DETAIL 4A2.1.
	EXISTING WALL TO REMAIN.
	NEW LOW WALL. SEE DETAIL 8A2.0.

PLAN REFERENCE NOTES	
①	ALIGN NEW WALL WITH FACE OF EXISTING WALL OR COLUMN, TYP.
②	FURNITURE AND EQUIPMENT, N.I.C., TYP.
③	TV TO BE MOUNTED AT THIS LOCATION. PROVIDE BACKING AS NEEDED AND POWER AND J-BOX FOR COAX AT 7'-0" A.F.F.
④	EXISTING STOREFRONT TO REMAIN.
⑤	NOT USED.
⑥	PROVIDE BACKING IN WALL TO SUPPORT WALL MOUNTED EQUIPMENT. VERIFY LOCATION AND QUANTITIES WITH TENANT.
⑦	NEW ADA COMPLIANT DRINKING FOUNTAINS. SEE PLUMBING DRAWINGS.
⑧	THIS DASHED LINE DENOTES SOFFIT ABOVE. SEE REFLECTED CEILING PLAN.
⑨	STAINLESS STEEL TOWEL PASS-THRU. VERIFY MODEL AND INSTALLATION REQUIREMENTS WITH TENANT.

⑩	MOP SINK. SEE PLUMBING DRAWINGS. INSTALL 4x4 TILE ON BOTH SIDE WALLS. TILE AREA SHALL BE 4'-0" WIDE AND 8'-0" TALL. CHALK MOP SINK TO TILE.
⑪	THESE EXTERIOR METAL STUD WALLS WITH BATT INSULATION ARE TO REMAIN. INSTALL AND FINISH 5/8" GYP. BD. ON INTERIOR OF WALL TO DECK OR TO 0" ABOVE 1" GRID CEILING WHERE APPLICABLE.
⑫	4'-0" x 4'-0" WINDOW INSTALLED @ 7'-0" A.F.F. SEE WINDOW SCHEDULE ON SHEET A2.5.
⑬	EXISTING MASONRY WALLS. CLEAN GROUT AS NECESSARY AND SEAL ENTIRE WALL SURFACE FROM FLOOR TO ROOF DECK.
⑭	ALL WINDOW SILLS ARE TO BE FINISHED WITH WOOD VENEER. SEE DETAIL 8A2.0.
⑮	EXISTING COLUMN TO REMAIN. PAINTED TO MATCH FIELD COLOR.
⑯	1" MELAMINE LAMINATED 3/4" SHELVES ON X-V BRACKETS FROM 9'-0" A.F.F. TO 10'-0" A.F.F. VERIFY WITH HEIGHT OF OWNER'S EQUIPMENT.
⑰	EXISTING ELECTRICAL METER SECTION LOCATION.
⑱	EXISTING GAS METER LOCATION PER SHELL CONSTRUCTION.
⑲	2" FLOOR DRAIN. SLOPE CONCRETE FLOOR AS REQUIRED TO DRAIN. SEE PLUMBING DRAWINGS.

⑳	INSTALL 5/8" AC RATED PLYWOOD TO 8'-0" OR TO TOP OF LOW WALLS. INSTALL 5/8" GYP. BD. FROM TOP OF PLYWOOD TO TERMINATION OF WALL OR DECK ABOVE.
㉑	THIS WALL SHALL BE 6" METAL STUD FRAMING.
㉒	EXISTING ROOF DRAIN LINE. FURR OUT AS TIGHTLY AS POSSIBLE.
㉓	TENANT PROVIDED ICE MACHINE. VERIFY POWER, WATER AND DIMENSIONS WITH TENANT.
㉔	12 X 12 CUBES PROVIDED AND INSTALLED BY CONTRACTOR. ALL LAMINATE SHALL BE PL-1. CUBES SHALL BE 16 COLUMNS WIDE AND 3 HIGH AND 5/8" ON A 4" BASE.
㉕	IN-FILL CONCRETE LEAVE OUT AREA. MATCH THICKNESS AND RE-INFORCEMENT OF ADJACENT FLOOR.
㉖	THIS DASHED LINE INDICATES CONTINUOUS MECHANICALLY AND ADHESIVELY ATTACHED 2" THICK RIGID INSULATION BOARD FROM 8'-0" A.F.F. TO DECK PLASTER BOARD, WHITE FOL FACED AND TO INTERIOR OF BUILDING OR APPROVED EQUAL.
㉗	EXISTING LADDER AND ROOF HATCH PART OF SHELL CONSTRUCTION. COORDINATE CONSTRUCTION OF NEW WALL WITH EXISTING ELEMENTS.
㉘	CONTRACTOR TO PROVIDE ADD ALTERNATE FOR NEW 4'-0" x 4'-0" STOREFRONT WINDOW TO MATCH EXISTING FRAME COLOR AND GLASS TYPE. BOTTOM OF WINDOW TO BE AT 20'-0" A.F.F. SEE DETAIL 8A2.1 FOR STRUCTURAL OPENINGS.
㉙	CONTRACTOR TO PROVIDE AND ALTERNATE FOR CONTINUOUS NETTING ON UNDERSIDE OF ENTRY FIELD SPACER-HORIZONTAL AND VERTICAL NETTING FROM TOP OF LOW WALL TO DECK ABOVE. NETTING SYSTEM TO INCLUDE NETTING, STEEL CABLE SUPPORTS AND INSTALLATION.



DEVELOPER

D-1 SPORTS TRAINING & THERAPY



RIVERWALK SHOPPING CENTER LOT 8

7111 S. BINGHAM JUNCTION BLVD
MIDVALE, UTAH

CONSTRUCTION DOCUMENTS

#	DATE	DESC.

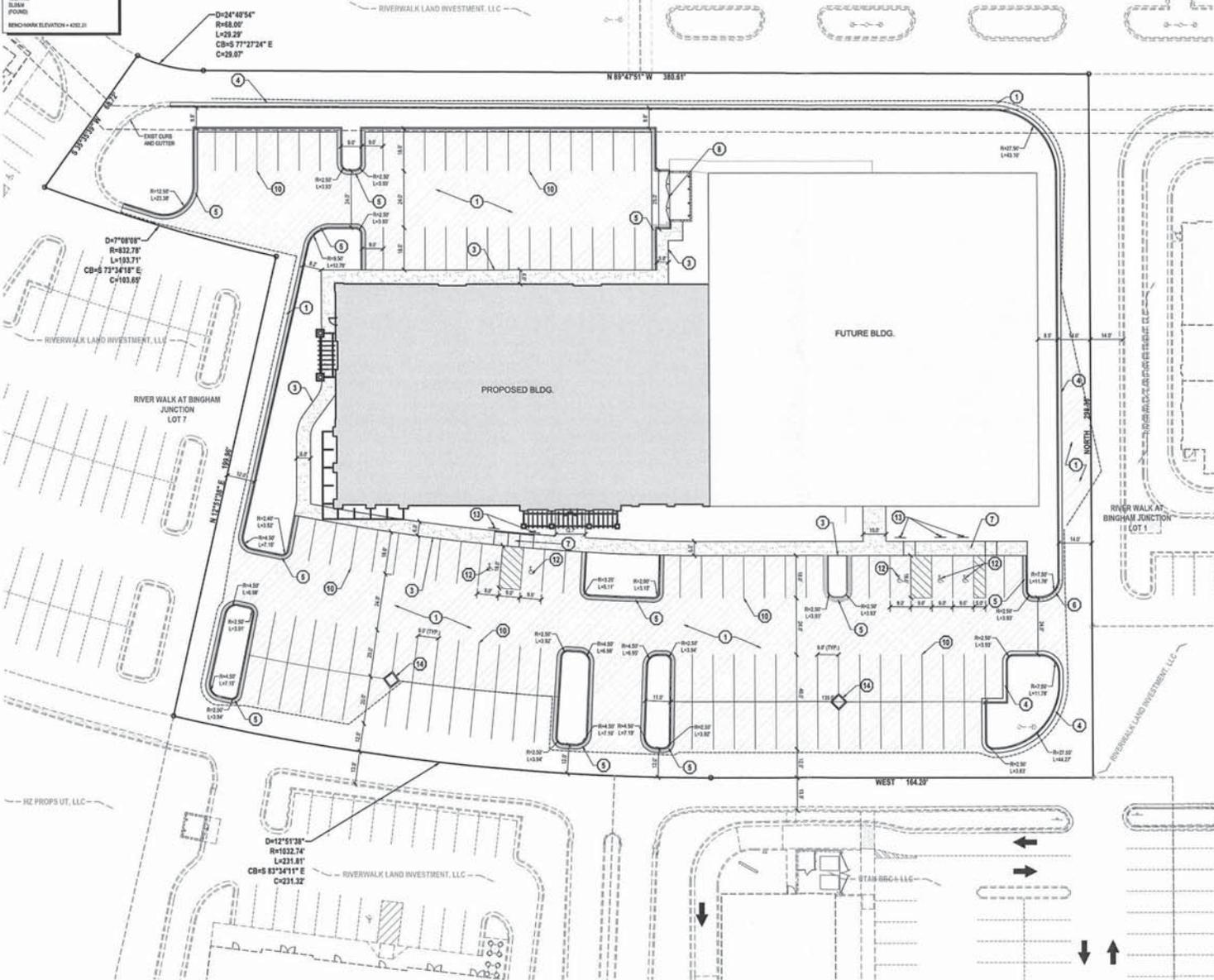
ISSUE:	7.22.18
PROJECT NO.:	10029
DRAWN BY:	BDJ
CHECKED BY:	TA
SHEET TITLE	

FLOOR PLAN

A1.1

811
CALL BEFORE YOU DIG
811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
See www.811.utah.gov
Call before you dig.

BENCHMARK
SOUTHWEST CORNER
SECTION 22
T2S 87W
S10N
FOUND:
BENCHMARK ELEVATION = 4282.21



- GENERAL NOTES**
1. ALL WORK TO CONFORM WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCENE PATTERNS THROUGHOUT SITE.
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD ANNUAL ON UNIFORM TRAFFIC DEVICES.
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR IMPROVED, INCLUDING TREES AND DECORATIVE FURNISHINGS, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

LOT 8 PARKING DATA TABLE

STANDARD STALLS	118
HANDICAP-ACCESSIBLE STALLS	5
TOTAL STALLS	124

LOT 8 SITE SUMMARY TABLE

DESCRIPTION	AREA (SQ)	PERCENTAGE
PAVEMENT	69,374	83%
ROOF (PROPOSED BLDG.)	19,122	23%
ROOF (FUTURE BLDG.)	29,260	36%
LANDSCAPING	18,237	22%
TOTAL SITE	132,733	100%

FOR INTERIOR PARKING LOT LANDSCAPING, SEE LANDSCAPE PLAN

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- (1) ASPHALT PAVEMENT: 2" THICK ASPHALTIC CONCRETE WITH 1" UNGRADED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL SC-801.
 - (2) ROLL ASPHALT TO PROVIDE 1" THICKNESS OVER. EXTEND BASE COURSE 2' BEYOND EDGE OF ASPHALT.
 - (3) 4" THICK CONCRETE SIDEWALK PER APCA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
 - (4) 3" COLLECTION CURB AND GUTTER PER DETAIL SC-605.
 - (5) 3" REVERSE PAN CURB AND GUTTER PER DETAIL SC-606.
 - (6) TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 - (7) HANDICAP ACCESS RAMP PER APCA STANDARD PLAN NO. 236 WITH DETECTABLE HAVING SURFACE PER APCA STANDARD PLAN NO. 338 AND SPECIFICATIONS.
 - (8) STRAIN ENCLOSURE PER DETAIL S 1 & 3 & 3C-608 WITH 1" THICK CONCRETE APRON PER DETAIL 4C-608.
 - (9) NOT USED.
 - (10) 7" WIDE SOLID WHITE PAVEMENT MARKING PER MUTCD STANDARD PLANS.
 - (11) NOT USED.
 - (12) PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER MUTCD STANDARD PLANS.
 - (13) HANDICAP PARKING SIGN PER MUTCD STANDARD PLANS.
 - (14) INSTALL 5/8" TIE DAMKING WITH CURB WALL PER APCA PLAN NO. 389 TYPE R.

ENSIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0259

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

PROJECT DEVELOPMENT GROUP
100 EAST 5000 SOUTH, 4705
DUPLEX, 1000-1000
COMPILED BY
WATTS BLANK
PHONE: 801.748.4888

RIVERWALK LOT 8
7111 SOUTH BINGHAM JUNCTION BOULEVARD
MIDVALE, UTAH

PROFESSIONAL ENGINEER
3-30-16
1598116-2302
BRADEN D.
STATE OF UTAH

SITE PLAN

PROJECT NUMBER: 23016
SCALE: AS SHOWN
DATE: 3/30/16
DESIGNED BY: W. BOGGS
CHECKED BY: S. MORRIS
PROJECT NUMBER: 23016

C-200



August 25, 2016

Mr. Marty Biljanic
Sr. Project Manager
166 E 14000 S.
Draper, UT 84020

Re: Use Group Determination

Dear Mr. Biljanic,

Please accept the following information for a Use Group Determination for our client.

Our Client is a nationally recognized sports educational center for the training and rehabilitation of athletes from scholastic thru professional, in a variety of sports, including basketball, football, soccer, volleyball, and track. There are two components to the facility—Athletic Training and Sports Performance Center (73% of facility square footage) and Physical Therapy and Rehabilitation Center (11% of facility square footage). The remaining 16% of the facility is allocated to common area including lobby, utility room and restrooms.

Because of their intense and specialized training, the Athletic Training component of the facility has to be designed in a manner replicating real world playing environments, such as the turf sports field. Even though the space required for the training facility is large, in order to replicate the training environment, the actual number of athletes being trained at any one time is five (5) to fifteen (20). Athletes are scheduled according to their age and development level, and the Instructor led training classes are staggered throughout the day.

The Therapy and Rehabilitation Center will be devoted to helping elite athletes improve their performance by measuring the athlete's capacity for vigorous training, promoting mobility, function and core strength. The Center also educates the athlete regarding how to optimize their training and to plan a training regimen tailored to the athlete's abilities. The actual number of athletes being treated at any one time is typically 1-3 per hour from 8am to 6pm.

The number of staff is estimated to be a total of 6 including training (3) and rehabilitation (3). Training staff will fluctuate throughout the day depending on class schedule.

All of the education, training and rehabilitation occur indoors; spectators are not allowed, and it is not open to the public.

The peak hours for the Training Center are 5am – 8am and 5pm – 9pm. Training's normal hours of operations are Monday – Friday 5am – 9pm, Saturday 8am – noon and closed on Sunday. Rehabilitation generally runs Monday – Friday 8am – 6pm.

I am available to discuss should you have any questions regarding the above or require additional information. I can also be reached on the telephone at 704-996-1327.

Thank you in advance for your assistance.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Randy Russell', with a large, stylized flourish at the end.

Randy Russell
President
Sports Med Properties



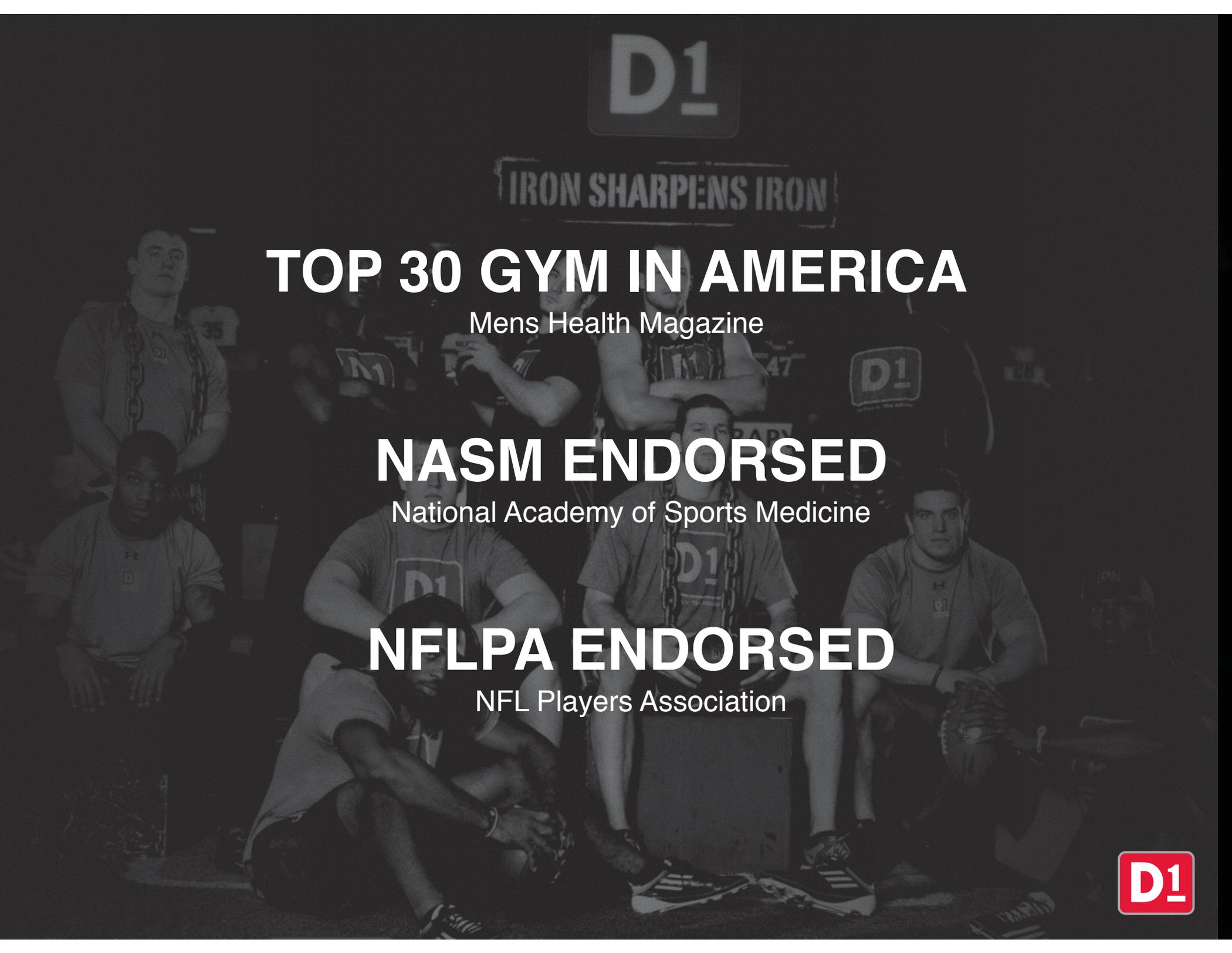
D1SALTLAKECITY

OURMISSION

Our Mission...

To be **THE PLACE**
for **THE ATHLETE**





D1

IRON SHARPENS IRON

TOP 30 GYM IN AMERICA

Mens Health Magazine

NASM ENDORSED

National Academy of Sports Medicine

NFLPA ENDORSED

NFL Players Association



D1 is

- **25+ Training locations** throughout the nation
- **40+ Therapy locations** throughout the nation
- **Athlete lifestyle brand** - gear and supplements
- **Sports medicine backed** - Training and Therapy Programming





Celebrity Athlete Co-owners



THERAPY

“The One Stop Shop for the Athlete”



TRAINING

D1 Medical Partner


D1 Medical Partner




CHRISPAUL



CHIPPERJONES



PEYTONMANNING

D1 has secured the most marketable athletes in the country

- Local **Sports Celebrities** Market the Business Units
- **Over 40 Sports Celebrities**





THE DEVELOPMENT

D1 Development Services

D1 prides itself in being able to set up a successful management system and branding strategy as well as add training revenue for the owners. Upon execution of the Operating Agreement and Management Agreement, D1 Holdings receives the development fee to begin the process of bringing D1 to the market. The deliverables include management structure, employee training, hiring, marketing, recruiting the area, delivering revenue through pre-sales, information systems, etc. D1 will set all of the operations up for the existing business as well as deliver a turn-key D1 system prior to the opening of the training facility, which includes the following:



FACILITY PLAN

State of the Art Based on Existing Templates

ATHLETE MARKETING RELATIONSHIP

Social Media Campaigns & Athlete Centered Sales Experience

MARKET STUDY

D1 Specific “Plan of Attack”

WORLD CLASS TRAINING PROGRAMS

D1 System of Training with the Latest Techniques

INFORMATION SYSTEMS

Licensing, Scheduling, Retention, Tracking and Reporting

OPERATING CONTROLS

D1 Specific Standard Operating Procedure



SALES RECRUITMENT

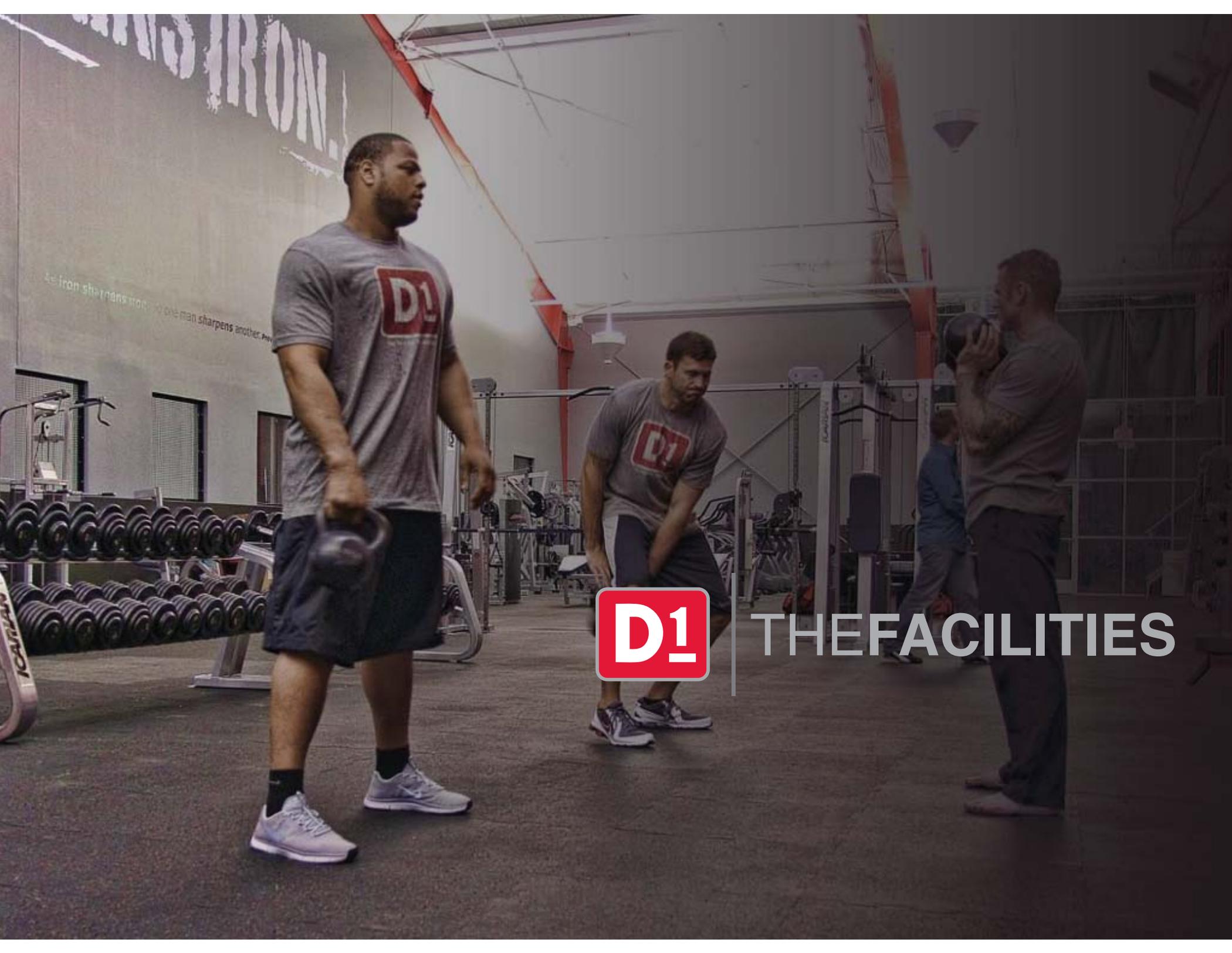
Pre-Sales, Web Development, Market Specific Lead Generation

HIRING, STAFFING & TRAINING

National Hiring Search, Immersive Training, Development Pipeline

MARKETING/PUBLIC RELATIONS

Press Release, Social Media Campaign, Collateral Materials



THE FACILITIES



D1 ABILENE





D1 NASHVILLE





D1TAMPA





**D1 BOWLING
GREEN**



Midvale City
Department of Community Development
Planning and Zoning Department

Planning and Zoning Commission Staff Report

APPLICATION: Riverwalk Retail Lot 9 Multi-tenant buildings
LOCATION: 7087 South Bingham Junction Blvd.
APPLICANT: Wadsworth Development
Marty Biljanic, Project Manager
FILE #: SSMP-21-26-226-009
REQUEST: Small Scale Master Plan / Preliminary Site Plan
MEETING DATE: Wednesday, September 14, 2016
ZONING DESIGNATION: Bingham Junction/Riverwalk Overlay (BJ/RWO) – Subarea 5
AUTHOR: Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S): 17-7-9, 17-7-9.12.1
AGENDA #: 4

SUMMARY:

Marty Biljanic, representing Wadsworth Development Group, is proposing a Small Scale Master Plan/Preliminary Site Plan for two, multi-tenant buildings located on an interior lot between Bingham Junction Blvd., 7200 South, and 700 West. This property is Lot 9 of the Riverwalk at Bingham Junction, Lot 4D & 4E Amended Subdivision plat within the Riverwalk Retail Center Large Scale Master Plan area and is approximately 76,851 square feet (1.764 acres). This project is subject to the requirements of the Bingham Junction Zone, the Riverwalk Overlay and the Riverwalk Retail Center Development Agreement. These multi-tenant building proposals include the following;

- One (1), 5,200 sq. ft. structure with drive-thru service;
- One (1), 6,600 sq. ft. structure;
- 73 parking stalls;
- Associated landscaping element; and
- Accesses from the access drive off of Bingham Junction Blvd., running through the site, and connecting to 700 West.

A copy of the proposed overall site plan and building elevations are attached.

The Planning Commission approved the Large Scale Master Plan for this overall project area with the following conditions:

1. All development within the amended large scale master plan shall comply with the Development Standards in Section 17-7-9.12.1.6 of the Zoning Ordinance, including but not limited to a minimum of 50% of the street facing facades being built within three feet of the 20-foot build-to-line; this will require that the 700 West facing façade for Building E be the same or a greater length than the 700 West facing façade for Building D.
2. All development within the amended large scale master plan shall comply with the Landscaping Standards in Section 17-7-9.12.1.7 of the Zoning Ordinance. Landscaping plans shall incorporate some of the plant materials and landscape design elements of the existing landscaping on Lot 4B of the Riverwalk at Bingham Junction Lot 4C Amended subdivision (WinCo).

3. All development within the amended large scale master plan shall comply with the Architectural Standards in Section 17-7-9.12.1.8 of the Zoning Ordinance, including but not limited to drive aisles located between the building and the street being minimized as much as possible with berming and landscaping and complying with the specific development standards in the ordinance.
4. All development within the amended large scale master plan shall comply with Sections 17-7-9.5 Common Development Standards and 17-7-9.6 Parking of the Zoning Ordinance.
5. All development within the amended large scale master plan shall comply with the approved Riverwalk Thematic Design Elements, i.e. lighting, street trees, etc.
6. The new access on Bingham Junction Boulevard shall be right-in/right-out only and shall comply with the requirements of the City Engineer.
7. The applicant shall obtain approval from UDOT for the new access on to 7200 South.

This Small Scale Master Plan proposal is consistent with the approved Large Scale Master Plan as it relates to the access points into the site and the general building and parking layout. The City Engineer and Fire Marshall have reviewed the site plan and do not have any specific development layout issues that need to be addressed; however, utility plans and site construction details will need to be finalized before any final approvals are granted. All of these required details for the City Engineer and Fire Marshall will be addressed with the final site plan and construction drawings. These details will not affect the proposed site layout or structure, as currently proposed.

In reviewing the proposed site plan and building elevations with regard to the required development standards, landscaping standards, architectural standards, and Riverwalk Thematic Elements, Staff has found the proposed site plan to comply with most of the required items with some minimal changes. As stated in the Riverwalk Zone development standards, all retail/office/flex structures shall have at least fifty percent (50%) of the adjacent facades built within three feet (3') of the landscaped setback (build-to-line). The build-to line is defined as the landscaped setback line from the public right-of-way. The south building has incorporated a drive-thru feature adjacent to the build-to-line. Since this feature is an element for this structure to operate, the drive-thru lane can be located along the landscape setback to satisfy the build-to line requirement. The north building is located approximately six-feet (6') from the twenty-foot (20') landscape setback. The south building drive-thru lane will need to be adjusted an additional one-foot (1') to not encroach within the twenty-foot (20') landscaped setback and the north building will need to be moved towards the landscape setback a minimum of three-feet (3') to comply with the build-to line requirement.

The proposed sizes and uses of the buildings require a total of 46 parking spaces; 73 have been provided. The additional landscaping features; i.e. sod areas, cobblestone mulch, and trees and shrubs are proposed to correspond with the adjacent developments within this area. Building foundation landscaping has also been provided around the perimeters of each structure. The applicant has also provided 34% interior parking lot landscaping which complies with the minimum 10% interior parking lot landscaping requirement. One item that will need to be adjusted is the northern-most parking space adjacent to the 20-foot build-to line/landscape setback. The applicant will need to remove this additional parking space since it encroaches within the landscaped setback.

The proposed building includes some of the building forms, materials, and colors included in the Exterior Building Palette which is part of the approved Development Agreement for the overall project. The structures also include variations in the facades and details that break up the wall areas.

All mechanical equipment located on the outside of the building shall be painted to match the structure and/or screened appropriately with landscaping. The Riverwalk Overlay limits the amount of stucco on

exterior elevations to a maximum of 50%. All elevations comply with this standard. Other items that need to be addressed include:

- An irrigation/planting plan complying with Section 17-7-9.5 F of the Zoning Ordinance.
- An exterior lighting plan complying with Section 17-7-9.6 F of the Zoning Ordinance and the thematic lighting standards in the Development Agreement. The parking lot light fixtures, poles, and pole bases need to match those in the existing adjacent properties.
- A detail of the trash enclosure, including materials and colors that match the building and a screening gate.
- All signage will require a separate Sign Permit for review and approval.

Staff believes these details can easily be addressed as part of Staff's final site plan review. With these items addressed and with some specific conditions, the proposed Small Scale Master Plan/Preliminary Site Plan is consistent with the approved Large Scale Master Plan for this area and complies with the zoning requirements for this area including those required by the Development Agreement for the Riverwalk Retail Center.

STAFF RECOMMENDATION:

Staff would recommend approval of the Small Scale Master Plan/Preliminary Site Plan with the conditions stated below.

RECOMMENDED MOTION:

“Based on the project complying with the approved Large Scale Master Plan and the development standards and requirements for the Riverwalk Overlay Zone, I move that we approve the Small Scale Master Plan for Riverwalk Retail Lot 9 to be located at 7087 South Bingham Junction Boulevard with the following conditions:

1. *The south building drive-thru lane shall be adjusted an additional one-foot (1') to not encroach within the twenty-foot (20') landscaped setback and the north building shall be moved towards the landscape setback a minimum of three-feet (3') to comply with the build-to line requirement.*
2. *The applicant shall remove any parking spaces that encroach within the landscaped setback.*
3. *All mechanical equipment is encouraged to be located inside the building. Any equipment, meters/boxes, etc. required to be on the outside of the building shall be painted to match the building and/or screened appropriately with additional landscaping.*
4. *An irrigation/planting plan as required in Section 17-7-9.5 F of the Zoning Ordinance shall be prepared.*
5. *An exterior lighting plan, to include light locations, fixture details, and photometric information as required in Section 17-7-9.6 F of the Zoning Ordinance and the Riverwalk Thematic Elements, shall be prepared. Parking lot light fixtures, poles, and pole bases shall match those existing in the Riverwalk Retail Center Large Scale Master Plan area.*
6. *The trash enclosure shall be constructed of similar materials and colors as the building and include a screening gate. A detail of this enclosure shall be included on the final site plan.*
7. *All requirements of the Building Official, Fire Marshall, and the City Engineer shall be satisfied.*
8. *The applicant shall prepare a final site plan in accordance with Section 17-3-3 E of the Zoning Ordinance. This final site plan shall be reviewed and approved by the City Engineer, Fire Marshall, and the City Planner.*
9. *All signage shall be reviewed under the applicable sign requirements and approved through the sign permit process.”*

ADJACENT LAND USES:

NORTH: BJ/Riverwalk Overlay (WinCo grocery store)
SOUTH: BJ/Riverwalk Overlay (Commercial multi-tenant building)
EAST: BJ/Riverwalk Overlay (Commercial multi-tenant building)
WEST: BJ/Riverwalk Overlay (Top Golf)

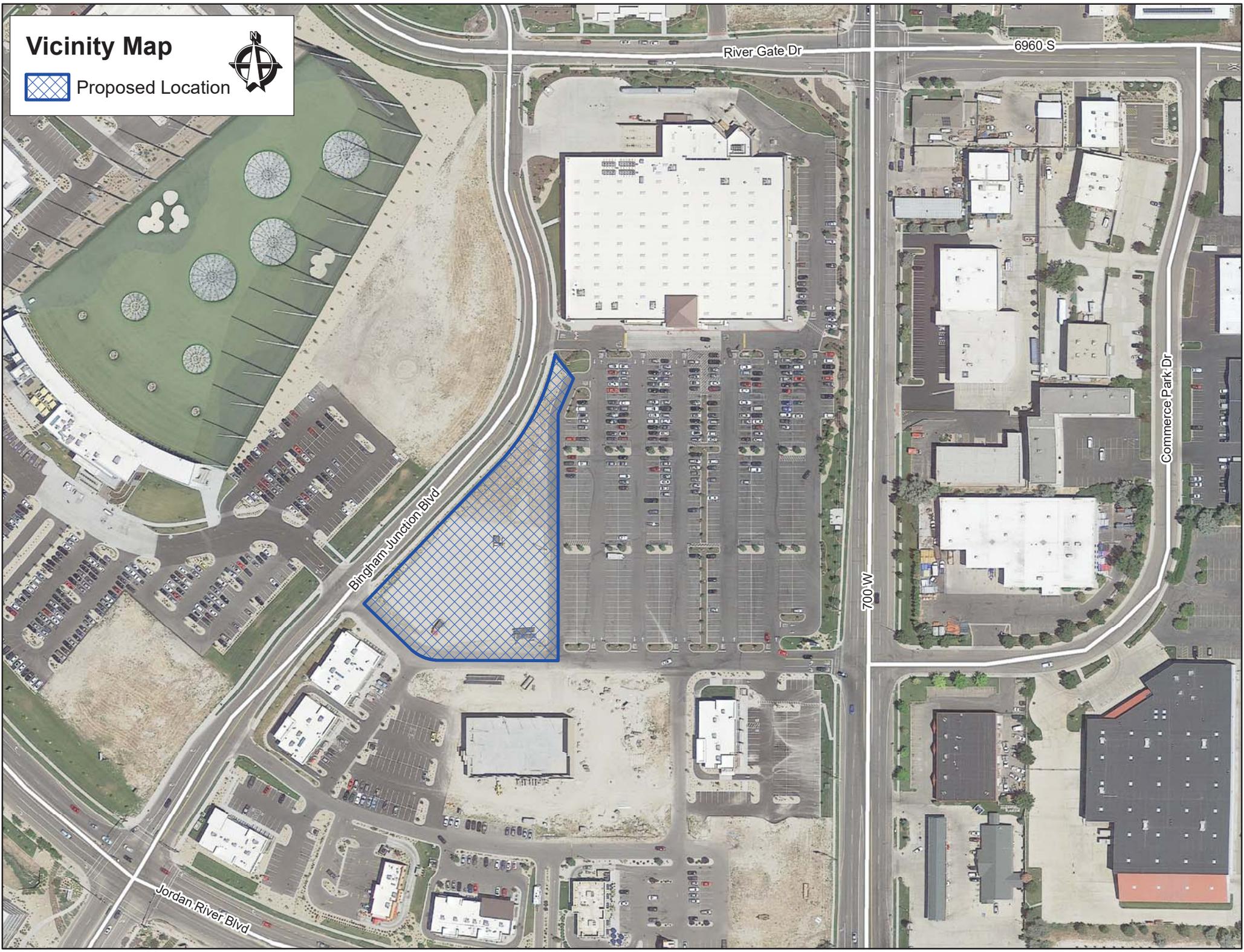
ATTACHMENTS:

- Vicinity Map
- Approved Large Scale Master Plan
- Preliminary Site Plan
- Building Elevations

PUBLIC NOTICE: No Yes

Vicinity Map

 Proposed Location



River Gate Dr

6960 S

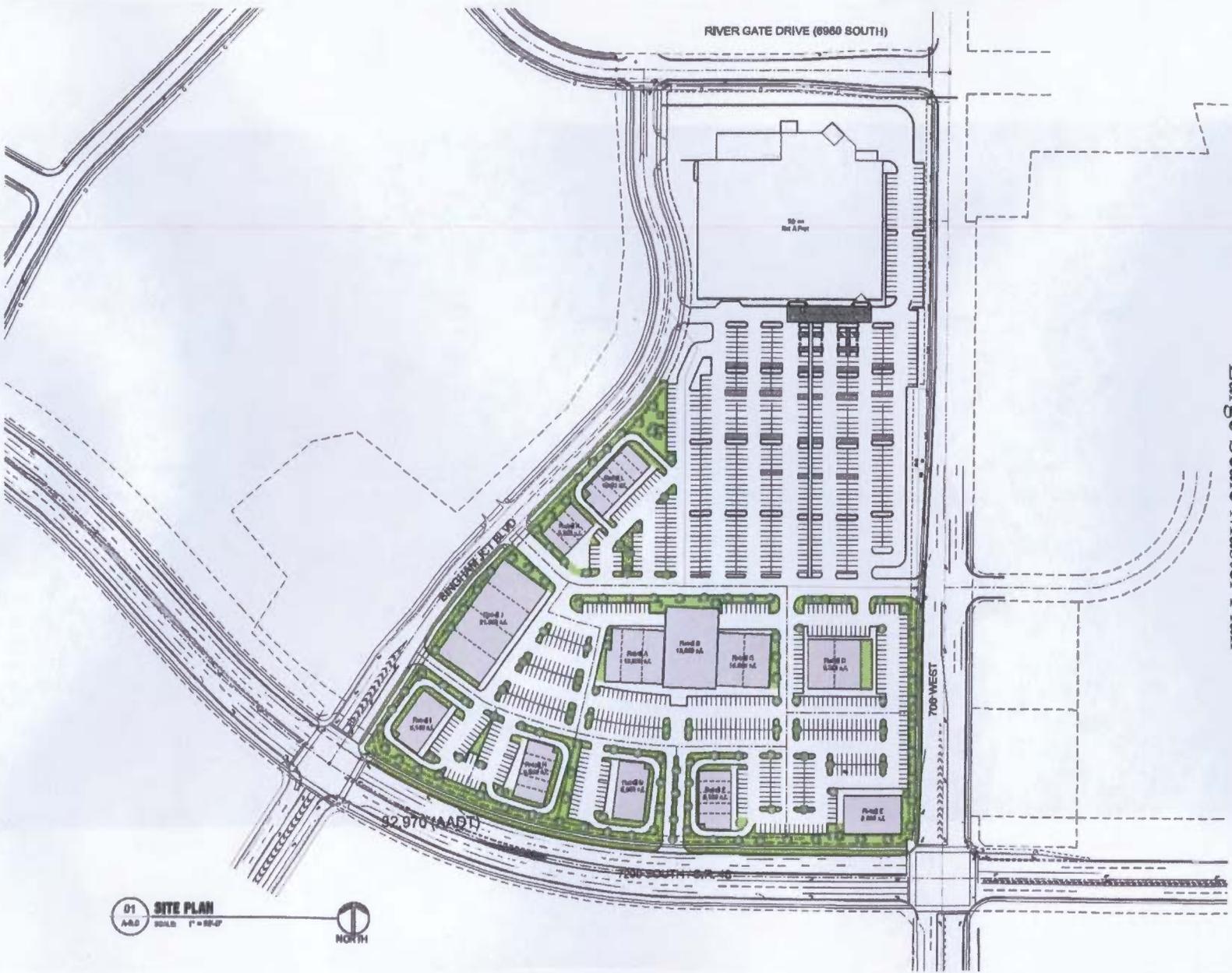
Commerce Park Dr

700 W

Bingham Junction Blvd

Jordan River Blvd

EXHIBIT B
Approved
Large Scale Master Plan





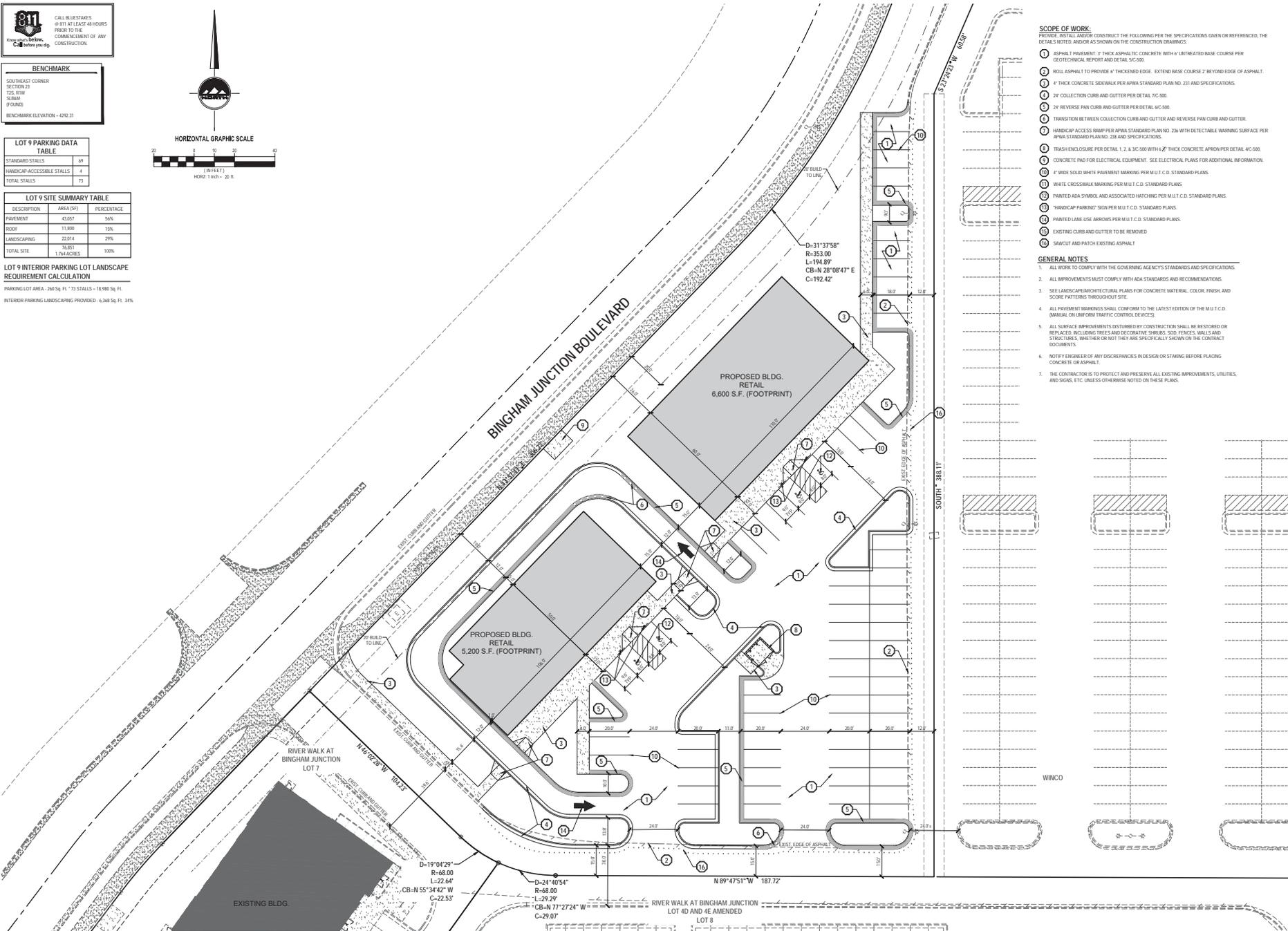
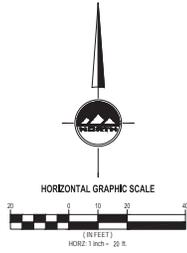
BENCHMARK	
SOUTHEAST CORNER SECTION 23 T2S, R10W S18&M	
BENCHMARK ELEVATION	+4292.31

LOT 9 PARKING DATA TABLE	
STANDARD STALLS	69
HANDICAP ACCESSIBLE STALLS	4
TOTAL STALLS	73

LOT 9 SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	43,057	56%
ROOF	11,800	15%
LANDSCAPING	22,014	29%
TOTAL SITE	76,871	100%

LOT 9 INTERIOR PARKING LOT LANDSCAPE REQUIREMENT CALCULATION

PARKING LOT AREA = 240 Sq Ft / 73 STALLS = 18,980 Sq Ft
 INTERIOR PARKING LANDSCAPING PROVIDED = 6,368 Sq Ft / 34%



SCOPE OF WORK:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 6" UNTRACED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL SC-500.
- 2 ROLL ASPHALT TO PROVIDE 4" THICKENED EDGE. EXTEND BASE COURSE 7' BEYOND EDGE OF ASPHALT.
- 3 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 221 AND SPECIFICATIONS.
- 4 24" COLLECTION CURB AND GUTTER PER DETAIL TC-500.
- 5 24" REVERSE PAN CURB AND GUTTER PER DETAIL AC-500.
- 6 TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- 7 HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 226 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 228 AND SPECIFICATIONS.
- 8 TRASH ENCLOSURE PER DETAIL 1, 2, 3 & SC-500 WITH 4" THICK CONCRETE APPROX PER DETAIL AC-500.
- 9 CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 10 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- 11 WHITE CROSSWALK MARKING PER M.U.T.C.D. STANDARD PLANS.
- 12 PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- 13 "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 14 PAINTED LANE USE ARROWS PER M.U.T.C.D. STANDARD PLANS.
- 15 EXISTING CURB AND GUTTER TO BE REMOVED.
- 16 SAWCUT AND PATCH EXISTING ASPHALT.

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
5. ALL SURFACE IMPROVEMENTS DESTROYED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SALT LAKE CITY
 45 W. 10000 S., Suite 500
 Sandy, UT 84070
 Phone: 801.255.0529

LAYTON
 Phone: 801.547.1100

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.965.1453

RICHFIELD
 Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR: WOODCORTH DEVELOPMENT GROUP
 100 EAST 1400 SOUTH RD 10
 DRAPER, UT 84043
 CONTACT: MARY BLUM
 PHONE: 801-414-4008

RIVERWALK LOT 9
 7111 SOUTH BINGHAM JUNCTION BOULEVARD
 MIDVALE, UTAH

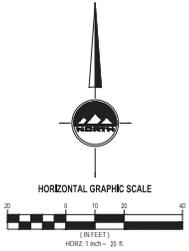
SITE PLAN

PROJECT NUMBER: S1000
 SHEET: C-100
 DRAWN BY: H. BLUDGE
 CHECKED BY: B. VOSKRES
 DATE: AUGUST 15, 2016

C-100



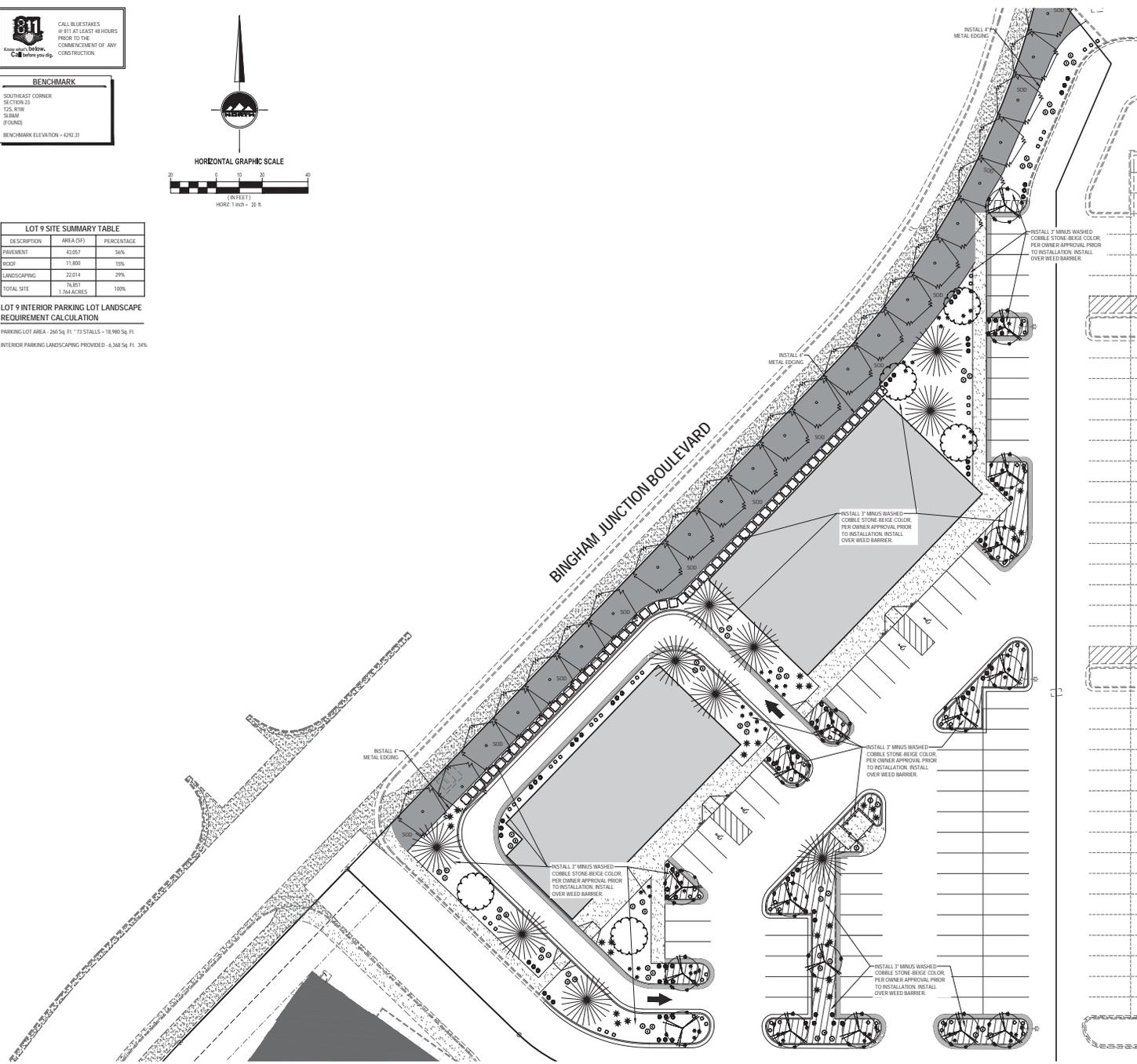
BENCHMARK	
SOUTHEAST CORNER	
SECTION 23	
T25 BURN	
STAMP	
STAKES	
BENCHMARK ELEVATION = 4292.31	



LOT 9 SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	43,067	56%
ROOF	11,800	15%
LANDSCAPING	22,914	29%
TOTAL SITE	76,981	100%
TOTAL SITE	1.744 ACRES	

LOT 9 INTERIOR PARKING LOT LANDSCAPE REQUIREMENT CALCULATION

PARKING LOT AREA = 240 Sq Ft * 73 STALLS = 18,900 Sq Ft
 INTERIOR PARKING LANDSCAPING PROVIDED = 6,348 Sq Ft 34%



Landscape*

Qty	Symbol	Common Name	Plant Size
17		Plum Cherry Thunderclap	2" Cal.
5		Goldenrain Tree	2" Cal.
10		Spruce Colorado Blue	8' Min.
23		Linden Littleleaf 'Greenspire'	2" Cal.

Qty	Symbol	Common Name	Plant Size
63		Babbarry 'Orion Pygmy'	1 Gallon
28		Pine Mugo	1 Gallon
80		Evergreen Euonymus	5 Gallon

Qty	Symbol	Common Name	Plant Size
74		Fountain Grass	Each
98		Blue Oak Grass	Each

Qty	Symbol	Common Name	Plant Size
75		Daylily	Each

*PLANT COUNT DOES NOT INCLUDE PLANTS TO BE INSTALLED WITH FUTURE BUILDING.
 PLANT COUNT IS PROVIDED AS A REFERENCE. CONTRACTOR SHALL PROVIDE NUMBER OF PLANTS AS SHOWN ON PLANS

GENERAL LANDSCAPE NOTES:

- ALL IRRIGATED LANDSCAPING SHALL BE INSTALLED AS A CONDITION PRECEDENT TO RECEIVING A CERTIFICATE OF OCCUPANCY UNLESS SPECIAL CONDITIONS MAKE INSTALLATION UNFEASIBLE. IN WHICH CASE THE APPLICANT SHALL PROVIDE CASH SECURITY OR ITS APPROVED ALTERNATIVE. FOR ALL LANDSCAPING, WHICH LANDSCAPING SHALL BE INSTALLED BY THE FOLLOWING MAY 31st
- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM FOUR-INCH (4") LAYER OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH, AND MODERATE SOIL TEMPERATURE. NONPOROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
- SOIL PREPARATION: SOIL PREPARATION WILL BE SUITABLE TO PROVIDE HEALTHY GROWING CONDITIONS FOR THE PLANTS AND TO ENCOURAGE WATER INFILTRATION AND PENETRATION. SOIL PREPARATION SHALL INCLUDE SCARPING THE SOIL TO A MINIMUM DEPTH OF SIX INCHES AND AMENDING THE SOIL WITH ORGANIC MATERIAL AS PER SPECIFIC RECOMMENDATIONS OF THE LANDSCAPE DESIGNER BASED ON THE SOIL CONDITIONS.
- TURFGRASS: PLAN SHALL DELINEATE TURFGRASS AREAS AND INCLUDE A CALCULATION PERCENTAGE OF IRRIGATED TURFGRASS NOT TO EXCEED 80% PERCENT OF THE LANDSCAPED AREAS. TURF AREAS SHALL BE ON A SEPARATE IRRIGATION ZONE FROM OTHER LANDSCAPE ZONES.
- TREES: TREES LESS THAN A TWO-INCH CALIPER MUST BE DOUBLE STAKED UNTIL THE TREES MATURE TO A TWO-INCH CALIPER.

LANDSCAPE DATA:

SITE TURF (SOD) AREA: 7,871 Sq Ft 34%
 SITE NON TURF AREA: 14,227 Sq Ft 64%
 TOTAL SITE LANDSCAPE AREA: 22,098 Sq Ft 100%

TURF (SOD) AREA
 AREAS NOT PLANTED W/ SOD SHALL CONSIST OF 3" MINUS WASHED CORBLE STONE BEIGE COLOR. PER OWNER APPROVAL PRIOR TO INSTALLATION. INSTALL OVER WEED BARRIER. W/ 4" METAL EDGING BETWEEN SOD AND ROCK.

OF TREES REQUIRED: 22,094 / 400 = 55 TREES
 # OF TREES PROVIDED: 55 TREES
 # EVERGREEN TREES: 30 TREES 55%
 # OF SHRUBS PROVIDED: 310 SHRUBS
 # EVERGREEN SHRUBS: 151 SHRUBS 38%
 TOTAL % OF EVERGREEN TREES AND SHRUBS PROVIDED = 34%

TOTAL SITE INTERIOR PARKING LOT LANDSCAPE REQUIREMENT CALCULATION

PARKING LOT AREA = 240 Sq Ft * 73 STALLS = 18,900 Sq Ft
 INTERIOR PARKING LANDSCAPING PROVIDED = 6,348 Sq Ft 34%



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400 WADSWORTH DEVELOPMENT GROUP
 100 EAST 1400 SOUTH RD 10
 DRAPER, UT 84040
 COWORK: MARTY BLUMER
 PHONE: 801-941-4008

RIVERWALK LOT 9
 7111 SOUTH BINGHAM JUNCTION BOULEVARD
 MIDVALE, UTAH

LANDSCAPE PLAN

PROJECT NUMBER: 22040
 SHEET: 15 OF 20
 DRAWN BY: H. BUDGE
 CHECKED BY: H. BUDGE
 PROJECT NUMBER: 22040
 SHEET: 15 OF 20

L-100



dixon + associates
 architects, planners, interiors
 833 south 200 east
 salt lake city, utah 84111
 t: 801.595.6400
 f: 801.595.8500

CONSULTANTS

**RIVERWALK
 SHOPPING CENTER
 LOT 9, BLDG K**

**7087 S. BINGHAM
 JUNCTION BLVD.
 MIDVALE, UTAH 84047**

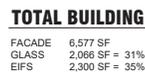
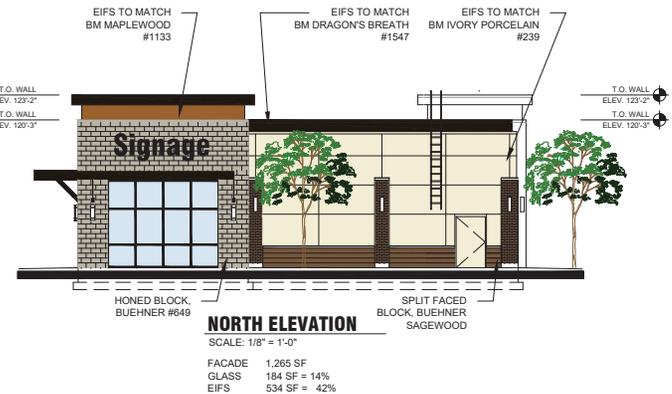
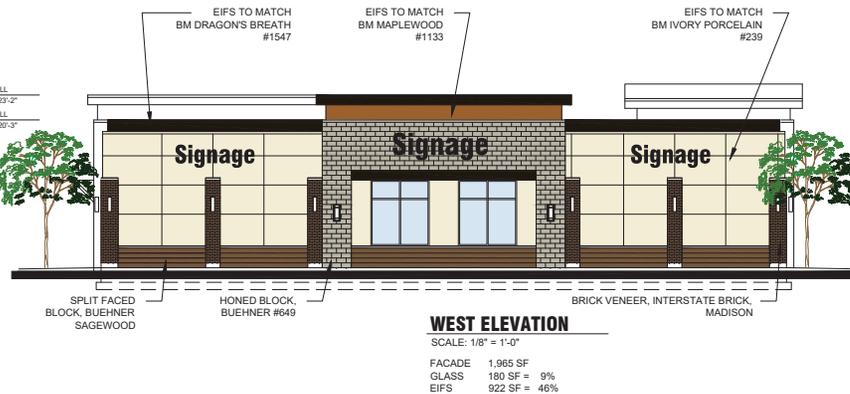
#	DATE	DESC.

ISSUE:	-
PROJECT NO.:	-
CAD DWG FILE:	-
DRAWN BY:	-
CHECKED BY:	-

SHEET TITLE

**ARCHITECTURAL
 ELEVATIONS**

A-2.1



Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION:	PARKER DUPLEX – AMENDMENT TO SITE PLAN
LOCATION:	158 West Center Street (7720 South)
APPLICANT:	Dave Webster, Stonebrook Homes
FILE #:	CUP-21-25-454-014
REQUEST:	TWO-UNIT RESIDENTIAL STRUCTURE (DUPLEX)
MEETING DATE:	Wednesday, September 14, 2016 (Continued from August 24, 2016)
ZONING DESIGNATION:	Single Family Residential/Duplex Overlay (SF1-DO)
AUTHOR:	Matt Hilderman, Associate Planner
AGENDA #:	5

SUMMARY:

On January 13, 2016, the Planning Commission reviewed and approved a conditional use permit for a two-unit residential structure (duplex) located at 158 West Center Street. As part of the application and review process, a conceptual site plan was submitted that identified off-street parking with a one-car garage and individual parking stalls for each unit located towards the rear of the property (Attachment 1).

On August 10, 2016 it was brought to Staff's attention that the concrete driveway was enlarged in the front yard setback area, did not comply with the approved site plan, and cannot be allowed to provide additional parking spaces.

On August 24, 2016 the applicant submitted a revision to the approved site plan for review before the Planning Commission. During discussion and review, the Planning Commission voted to deny the amended site plan for the Parker Duplex and invited the applicant to revise the site plan along the lines of the Commission's discussion. This discussion included making the front concrete area five-feet (5') narrower and if necessary, add some additional concrete in the back to allow a turnaround area in the rear of the house, and inviting a recommendation for an amendment to the fencing plan.

The property owner, David Parker, has submitted a request to amend the site plan (Attachment 2). Mr. Parker has requested to reduce the additional ten-foot (10') width of concrete driveway to a width of five-feet (5'). The applicant states the additional increase in driveway width is for safety reasons concerning the ingress/egress of this lot and to decrease the risks of any associated hazards. The applicant did not provide any proposal to amend the fencing plan.

STAFF RECOMMENDATION:

The Planning Commission will need to consider the appropriateness of this request and make a final decision of this change request.

RECOMMENDED MOTION:

Option 1:

“I move that we approve the revised site plan, as presented by the applicant. This revision includes an additional width of six-feet (6’) from the initial approved site plan and the purpose is for safety concerns associated with the ingress/egress of this lot.

Option 2:

“For the following reasons, I move that we deny the revised site plan, as presented by the applicant:

- 1. . . .*
- 2. . . .*
- 3. . . .”*

ATTACHMENTS:

- Vicinity Map
- Approval Document
- Attachment 1
- Attachment 2
- Site Visit Pictures



Grant St

Center St

Grant St

Vicinity Map 

 Proposed Location



7505 South Holden Street
Midvale, Utah 84047
Phone (801) 567-7200
Fax (801) 567-0518

Friday, January 15, 2016

David Webster
P.O. Box 95863
South Jordan, UT 84095

RE: Conditional Use Permit: Two-Unit Residential Structure (Duplex)

Dear Mr. Webster:

This letter is to confirm action taken by the Midvale City Planning Commission at their regularly scheduled meeting on Wednesday, January 13, 2016 and shall serve as the official decision with regards to the above application request. It was the decision of the Planning Commission to approve the Conditional Use Permit for the **Parker Duplex**, a two-unit residential structure (duplex), to be located at **158 West Center Street (7720 S.)** with the following conditions:

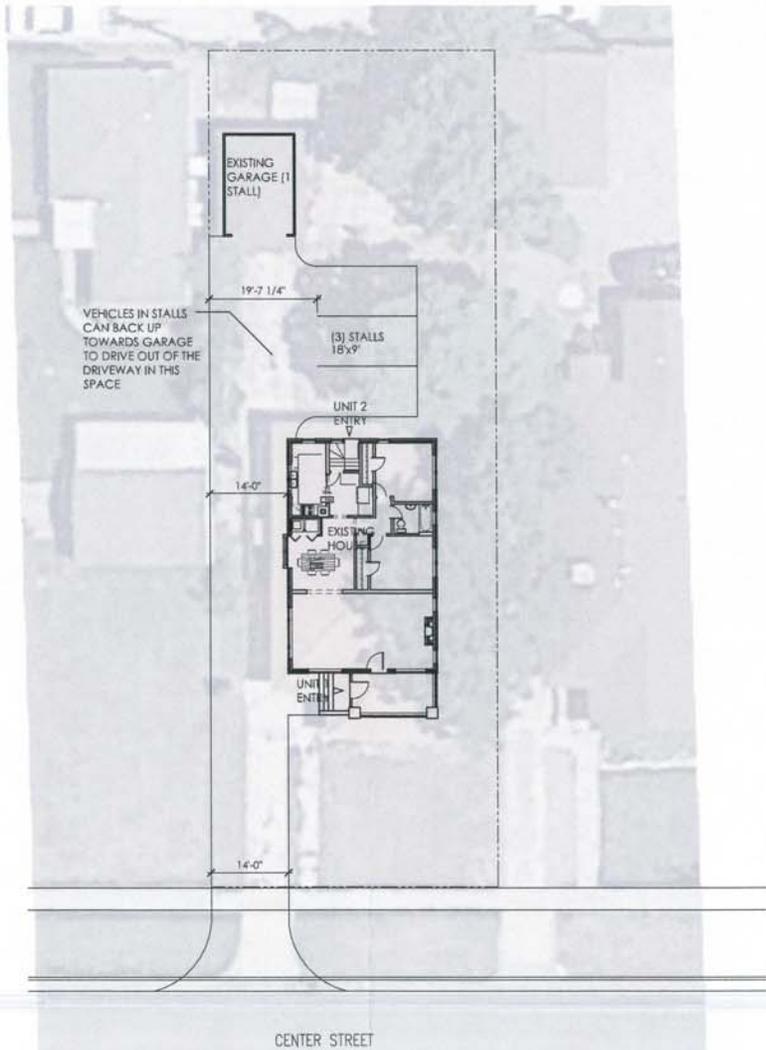
1. A six-foot high screening fence shall be constructed from the front setback line back along the side property lines and along the back property line in conformance with Midvale City's fencing requirements.
2. The applicant shall obtain a Building Permit prior to any interior remodel work on the structure and shall comply with all requirements of the Building Official and Fire Marshall.

We have enjoyed working with you on this project and look forward to future collaborations. If you have any further questions or concerns, please feel free to contact our office.

Thank you.

Matt Hilderman,
Associate Planner

Cc: File



Site Plan Amendment Request

After presenting the 1st amended site plan to the city Planning Commission and receiving their recommendation I would request the 10 extra feet of concrete in front of the property that has been placed be cut down to 5 feet for a 3 point turning radius for the safety of the vehicle's that enter the property.

David Parker



- SITE PLAN NOTES:**
1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2012 (IRC), AND ALL CITY OR COUNTY REGULATIONS. CONTACT PUBLIC WORKS OFFICE BEFORE BEGINNING WORK.
 2. BUILDERS/OWNER SHALL SECURE ALL PERMITS PRIOR TO DOING ANY WORK. ON SITE AND IN THE PUBLIC RIGHT OF WAY, TRAFFIC PLANS, BONDING, AND ANY INSURANCE WILL BE REQUIRED.
 3. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
 4. CURB AND GUTTER SHALL BE APWA STANDARD DRAWING NO. 205 TYPE "A" OR APPROVED EQUI.
 5. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN THE IRC.
 6. COMPACTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN A 24 HOUR PERIOD OF A REQUEST. FINAL REPORTS AS SPECIFIED IN THE IRC SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.
 7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 8. TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. **DO NOT SCALE DRAWINGS.**
 9. ANY OMISSION OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
 10. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE. USE 3/4" MAXIMUM SIZE ROAD BASE FOR FILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT IS 8".
 11. SHOULD GROUND WATER BE INCURRED DURING EXCAVATION, A QUALIFIED SOILS ENGINEER SHALL BE RETAINED TO DESIGN AND APPROVE A CONTINUOUS TRENCH DRAIN AT FOUNDATION, ON SITE.
 12. CONTRACTOR SHALL VERIFY THE DEPTH OF THE EXISTING SEWER LATERAL BEFORE CONSTRUCTION TO VERIFY THAT CONNECTION IS POSSIBLE WITH HOUSE ELEVATION SHOWN.
 13. ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE.
 14. GENERAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR KEEPING MUD/DIRT ON SITE DURING BAD WEATHER AND FOR CLEANING UP AFTER SUBCONTRACTORS.
 15. STREET CURB AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY.
 16. STRAW WATLES (OR EC) TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM SITE DURING CONSTRUCTION.
 17. BEAMS OR SWALES MAY BE RECD ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS. FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.
 18. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10' (5%).
 19. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012.
 20. PRIOR TO BEGINNING ANY WORK IN PUBLIC WAY A LICENSED BONDED AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM THE SLC ENGINEERING PERMITS OFFICE AND PERHAPS A TRAFFIC CONTROL PERMIT FROM SLC TRANSPORTATION.

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 architects and engineers
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MIDVALE DUPLEX CONVERSION
 168 WEST CENTER STREET
 MIDVALE, UTAH

AE2015.163
SITE PLAN
 REVISIONS:
 1 MARCH 14, 2016
 2 MARCH 18, 2016
 2 MARCH 25, 2016
 DATE: OCTOBER 30, 2015
 SHEET NO.
A1.1
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Concrete removed