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**MIDVALE PLANNING AND ZONING COMMISSION MEETING
AGENDA
OCTOBER 12, 2016**

**WORKSHOP MEETING
ALEXANDER DAHL CONFERENCE ROOM
6:30 PM**

- STAFF BRIEFING OF AGENDA ITEMS AND UPDATES

**GENERAL SESSION
COUNCIL CHAMBERS
7:00 PM**

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC HEARING(S)

1. REZ/CUP/SPR-22-29-202-062; UNION WOODS APARTMENTS; 7090 SOUTH UNION PARK AVENUE; GENERAL PLAN AMENDMENT FROM OFFICE TO MIXED USE, PRELIMINARY SUBDIVISION PLAT FOR TWO LOTS, REZONE 2.5 ACRES TO INCLUDE REGIONAL COMMERCIAL RESIDENTIAL OVERLAY, AND CONDITIONAL USE PERMIT AND PRELIMINARY SITE PLAN TO ADD A MULTIFAMILY RESIDENTIAL BUILDING AND PARKING STRUCTURE TO THE EXISTING COMMERCIAL DEVELOPMENT; REGIONAL COMMERCIAL ZONE; UNION WOODS ACQUISITIONS PARTNERS LLC (APPLICANT)

ACTION ITEM(S)

2. TXT-16-04; TEXT AMENDMENT TO MODIFY FENCE HEIGHT LIMITATIONS CITY-WIDE; CITY STAFF (APPLICANT)
3. ADOPTION OF AMENDED PLANNING COMMISSION BYLAWS AND RULES OF PROCEDURE

DISCUSSION

4. PROPOSED AMENDMENTS TO THE TRANSIT ORIENTED DEVELOPMENT ZONE DISTRICT, INCLUDING NEW OVERLAY FOR DEVELOPMENTS OVER THREE STORIES IN HEIGHT

MINUTES

5. REVIEW AND APPROVE MINUTES OF JUNE 22, 2016; JULY 13, 2016; AUGUST 24, 2016; SEPTEMBER 14, 2016; AND SEPTEMBER 28, 2016

ADJOURN

The workshop meeting is open to the public; however, there is no public participation. This meeting includes City Staff briefing Commission Members on the technical aspects of the agenda items. Members of the public will be given an opportunity to address the Commission during public hearing items in the general session. The Commission reserves the right to amend the order of the agenda if deemed appropriate. No item will be heard after 10:30pm without unanimous consent of the Commission. Items not heard will be scheduled on the next agenda. In accordance with the Americans with Disabilities Act, Midvale City will make reasonable accommodations for participation in the meeting. Request assistance by contacting the CED Administrative Assistant at (801) 567-7211, providing at least three working days advance notice of the meeting.

A copy of the foregoing agenda was provided to the news media by email and/or fax; the agenda was posted in the City Hall Lobby, the 2nd Floor City Hall Lobby, on the City's website at www.midvalecity.org and the State Public Notice website at <http://pnn.utah.gov>. Commission Members may participate in the meeting via electronic communication. Commission Members' participation via electronic communication will be broadcast and amplified so all Commission Members and persons present in the Council Chambers will be able to hear or see the communication.

Lesley Burns, City Planner

Dated this 6th Day of October, 2016

Midvale City
Department of Community Development
Planning and Zoning

Planning and Zoning Commission Staff Report

APPLICATION: UNION WOODS APARTMENTS

LOCATION: 7090 S. Union Park Ave.

APPLICANT: Union Woods Acquisitions Partners LLC

FILE #: REZ/SPR/CUP-22-29-202-062

REQUEST: General Plan Amendment/Preliminary Subdivision
Plat/Rezone/Conditional Use Permit/Preliminary Site Plan

MEETING DATE: October 12, 2016

ZONING DESIGNATION: Regional Commercial (RC)

AUTHOR: Lesley Burns, City Planner

APPLICABLE ORDINANCE(S): 17-3-1, Title 16, 17-7-12, 17-7-12.1

AGENDA #: 1

SUMMARY:

The applicant, Union Woods Acquisitions Partners LLC, represented by Dusty Harris, is proposing to redevelop a portion of its existing 5.58 acre office development site located at 7090 South Union Park Avenue. Currently, the property includes a six story office building (approx. 82,000 square feet of leasable space) and surface parking. The applicant is proposing to replace the majority of the surface parking with a 209 unit apartment building and a four level commercial parking structure. The existing office building would remain on approximately 3.12 acres of the site, which would also include the proposed commercial parking structure located directly west of the office building. The apartment building is proposed to be located on the remaining 2.46 acres of the site at the south end of the overall property. The proposed apartment building includes two levels of podium style parking with five stories of residential above (20 studio, 96 one-bdrm, 93 two-bdrm units), indoor and outdoor (podium level) recreation amenity space, some surface parking stalls, and landscaping. The existing access from Union Park Avenue into and through the site would remain, including the driveway access to the development to the north. Copies of the proposed site plan and building elevations are attached.

This property is located in the Regional Commercial (RC) Zone. The applicant is proposing to utilize the Regional Commercial Residential Overlay (RCRO) for the high density residential component of this proposal. In order for this development to proceed as proposed, the following approvals are required from the City:

1. An amendment to the General Plan Proposed Land Use Map for the overall property changing the land use designation from office use to mixed use.

2. A subdivision plat dividing the overall property into two lots, one lot for the office and proposed commercial parking structure and one lot for the proposed multi-family residential building.
3. A rezone of the 2.46 acre residential lot to include the Regional Commercial Residential Overlay.
4. A conditional use permit for the proposed multi-family residential use.
5. A site plan approval for the new structures and how they integrate with the existing and surrounding development.
6. A development agreement. (Development agreements are reviewed and approved by the City Council.)

General Plan Amendment

The Union Woods property is part of a larger office and commercial area that defines the Fort Union area, including The Shops at Fort Union. The City has recognized that a mix of residential and commercial uses is important to provide the critical mass necessary to support the existing commercial and attract new, viable businesses to the area. To support this concept, the City adopted the RCRO, providing an opportunity for medium and high density residential development to be incorporated into the existing office and commercial development in this area. Currently, the Union Woods property is designated as an office use on the General Plan Proposed Land Use Map. To be in keeping with the concept of the newly adopted RCRO, the applicant is requesting this 5.58 acre property be designated as mixed use on the General Plan Proposed Land Use Map. A mixed use land use designation is intended for commercial and residential or office and residential uses to be located together sharing infrastructure and amenities. This can occur either within the same building (vertical) or adjacent to one another (horizontal). This proposed Union Woods development includes horizontal mixed use with shared access, roads/driveways and parking, and vehicular and pedestrian connections. The Planning Commission will need to determine if this is an appropriate amendment to the existing General Plan and forward a recommendation to the City Council for its consideration and final decision.

Preliminary Subdivision Plat

Currently, the Union Woods property is one 5.58 acre parcel. The applicant is requesting approval of a subdivision plat that will divide the property into two lots. This division would create a 3.12 acre lot for the existing commercial building and proposed commercial parking structure, and a 2.46 acre lot for the proposed residential building. The subdivision plat is intended to facilitate future lending on the property, and will also create the legal description to be tied to the rezone request to allow the residential development.

The RC Zone and RCRO do not have minimum lot size requirements, so the two proposed lots comply with the zone standards. The preliminary subdivision plat has been reviewed by the City Engineer. He has approved the proposed plat subject to some technical corrections being made before a final subdivision plat can be approved. The final plat will need to include the appropriate access easements to ensure shared access between both lots continues in perpetuity, as well as existing access easements through the property are properly maintained and noted. The Planning Commission will need to evaluate this subdivision request and forward a recommendation to the City Council for its consideration and final decision.

Rezone

This property is currently zoned RC. The applicant is requesting that the 2.46 acre area associated with the proposed multi-family residential development be rezoned to include the RCRO. The ordinance requires that a proposed development plan be submitted in conjunction with this type of rezone request. To utilize the RCRO, it must be demonstrated the proposed development fulfills the following goals:

- A. Provides critical mass necessary to help facilitate the transition of regional commercial shopping centers into vibrant mixed-use developments;
- B. Creates a consistently high quality urban environment;
- C. Enhances the investment of those locating within the regional commercial zone;
- D. Promotes economic development by increasing the utilization of existing parcels within current developments;
- E. Eliminates large underutilized surface parking areas by utilizing alternate parking methods, including but not limited to structured parking and shared parking;
- F. Provides compatibility between residential and commercial uses to create a comfortable environment for both shoppers and residents; and
- G. Provides pedestrian connections within and among developments to support pedestrian activity in existing auto-oriented developments and encourages pedestrian movement.

The applicant has submitted a written summary explaining how this proposal fulfills each of these goals. This summary is attached. The Planning Commission will need to consider this rezone request in conjunction with the proposed site plan and determine if the proposal fulfills the goals in order for the applicant to utilize the RCRO to allow the residential component of this overall project. Based on this determination, the Planning Commission will need to forward a recommendation to the City Council for its consideration and final decision.

Preliminary Site Plan

The applicant is requesting preliminary site plan approval for the overall project, as well as a conditional use permit for the proposed multi-family residential use. Site plan and conditional use approval will need to go hand in hand with the general plan amendment, subdivision plat and rezone requests.

The City Engineer has reviewed the proposed preliminary site plan and has approved the plan subject to some site improvement construction details being submitted for review and approval with the final site plan, as well water and sewer approvals from Jordan Valley Water Conservancy District (water provider) and Cottonwood Improvement District (sewer provider). Jordan Valley has provided a letter indicating it will be able to provide water service to this project. The applicant has submitted a formal application to Cottonwood Improvement District for sewer service. A “will serve” letter is pending; however the District has indicated it does not see any capacity issues for the project. Formal comments from the Fire Marshal are pending;

however, the applicant has been working with the Fire Marshal and the current preliminary site plan has addressed the Fire Marshal's requirements for emergency access and turnarounds. The applicant has been working with Salt Lake City Public Utilities, which has an irrigation canal that runs through this property. The proposed site layout does not locate any structures within the canal easement, and Salt Lake City Public Utilities does not oppose the project provided its canal is protected through the construction process. All of these details should not affect the proposed site layout or buildings as currently proposed.

In reviewing the proposed preliminary site plan and building elevations with regard to the required development standards, site design/landscape requirements, recreational amenity standards, parking/access, and architectural standards, Staff provides the following analysis for the Planning Commission's consideration and discussion.

Development Standards

Staff evaluated the development on each proposed lot separately in order to determine whether the proposal complies with the allowable density and lot coverage/landscaping for each use.

The office lot must comply with the development standards for the RC Zone. The RC Zone does not have a minimum lot size or required side or rear yard setbacks except as required by the International Building Code and landscape setbacks. The required landscape setback from a public right-of-way is 15 feet; the minimum landscaped area is 15%. The proposed office lot, including the existing 82,000 square foot office building, existing north surface parking lot, and the proposed four level commercial parking structure, complies with all of these development standards. The existing landscape setback from the public right-of-way (Union Park Avenue) is between 16-95 feet and will not be affected by the proposed redevelopment of the site. The landscaped area is approximately 40%. The proposed commercial parking structure is to the rear of the lot and is adjacent to existing commercial development. Provided this structure is constructed in accordance with the Building Code, i.e. no openings along the west elevation, there are no required setbacks for this structure.

The residential lot must comply with the medium and high density and mixed use development standards for the RCRO. The RCRO does not have a minimum lot size, but must be sufficient to accomplish the goals of the Overlay. The required setback adjacent to a public road is 15 feet. The proposed residential building is not adjacent to a public road; it is located behind existing commercial development and Little Cottonwood Creek. There are no required side or rear setbacks except as required by the International Building Code and landscape setbacks. There are no adjacent single family residential zones; this lot is surrounded by existing commercial development. The proposed side and rear setbacks include 15 feet of landscaping along the south and east building elevations. This can comply with the Building Code. The maximum density allowed in the RCRO is 85 units per acre. With 209 units proposed on 2.46 acres, this project is proposed at 85 units per acre. The residential lot must include at least 30% open space, landscaping and outdoor recreational amenities. To satisfy this requirement, the applicant has proposed landscaping around three sides of the building (south, west and east along the creek), as well as outdoor recreational amenities at the podium building level. The outdoor recreational amenities are courtyards with lounging areas, and possible barbecues, gardens, hot tub, fire pits, etc. The landscape and courtyard areas total 30% of the residential lot area.

Site Design/Landscape Requirements

Landscape.

The applicant has submitted a conceptual landscape plan showing all areas of the site to remain or become landscaped area, including existing trees to remain and new trees to be planted. As mentioned previously, the amount of landscape area for the entire site complies with the minimum landscape area required. A more detailed landscape plan, complying with the landscape standards of the RC Zone and RCRO will need to be submitted as part of a final site plan. This plan will need to include the following:

- Protection of existing landscaping to remain.
- Five additional street trees along Union Park Avenue to bring current office area landscaping into compliance with current street tree requirement of one tree per 30 feet of frontage.
- Building foundation landscaping along the north elevation of residential building; and the north, south and east elevations of the commercial parking structure.
- Twenty-five percent of the new trees and shrubs are required to be evergreens.
- One tree for every 400 square feet of landscape area.
- Irrigation plan complying with Title 17-7-12.6 (5) of the Municipal Code.

Fencing.

The applicant is not proposing any new fencing within the project.

Recreational Amenities.

The applicant is providing the following indoor and outdoor recreational amenities as part of the residential development:

- Two outdoor courtyard areas located on the podium level of the building. These areas total 13,000 square feet and include lounging areas with tables and chairs, and possible barbeques, gardens, hot tub, fire pits, etc. An exact plan for these areas has not been submitted. The Planning Commission will need to determine what level of detail is required to ensure appropriate amenities are being provided.
- Indoor clubhouse, fitness room, leasing office and restrooms. These areas total approximately 8,000 square feet.

Walkways.

The applicant is proposing to keep the existing landscape and walkway system along Little Cottonwood Creek, as well as the walkways around the office building. New five foot walkways have been proposed connecting entrances into the residential building with the existing sidewalk along the main access into The Shops at Fort Union. Five foot walkways are also proposed along the north elevation of the residential building and the south elevation of the commercial parking structure. Three walkways are shown crossing the main driveways through the site, connecting the residential building with the commercial parking structure and existing office building, and the office building and the parking structure. These crosswalks will need to be stamped concrete or asphalt, or other distinguishable material. The applicant will need to work with the owner of

The Shops at Fort Union and receive permission to construct the proposed walkway connections across The Shops' property.

Parking/Access

Parking.

Based on the size and use of the existing office building, 247 parking stalls are required. The applicant is proposing to keep the 27 stall surface parking lot located north of the building, and replace the existing surface parking to the west with a four level commercial parking structure. The applicant has indicated that the parking structure will accommodate 261 parking stalls. Only one level of the parking stall layout has been submitted; the exact number of stalls being provided will need to be verified.

The multi-family residential parking requirement is one stall per studio and one bedroom unit, two stalls per two bedroom unit, and one stall per four units for guest parking. Based on the number of units and bedrooms proposed in the residential building, 302 parking stalls are required for residents and 52 parking stalls are required for guests for a total of 354. The proposed building includes two levels of podium style parking as well as some surface parking on the north side of the building. The applicant has indicated that there are 277 parking stalls in the building and 36 surface parking stalls for a total of 313. (Staff's actual count of the building parking stalls is 292. This discrepancy will need to be addressed, but it appears there are more stalls than indicated in the parking table on the plans.)

The overall development is required to have 601 parking stalls; the overall project is proposed to include 601 parking stalls. The residential building requires 41 stalls beyond what is being provided on the residential lot. The applicant is proposing to make up this difference with shared parking in the commercial parking structure. This structure appears to include enough extra spaces to accommodate the additional parking required for the residential building. In addition, the peak parking time for an office is opposite the peak parking time for a residential use. If the Planning Commission is comfortable with this parking scenario, the applicant will need to execute a shared parking agreement to ensure parking in the commercial parking structure remains an option for the residents of the apartment building if different owners are involved in the future.

Access.

The redevelopment of this property will utilize the existing access off of Union Park Avenue, which includes a lighted intersection. The existing commercial driveway providing a connection between this property and the commercial property to the north will also remain. The location of the access into the residential podium parking creates a 90 degree intersection with this driveway minimizing conflicts between vehicles and pedestrians. There will be no new vehicular accesses constructed into the property.

Exterior Lighting.

A lighting plan, complying with the City's exterior lighting standards, for the surface parking areas and the parking structure will need to be part of a final site plan.

Architecture

Residential Building.

The proposed residential building includes two levels of podium parking with five stories of residential above. The overall building height is 87 feet, 60 feet to the highest occupied floor plate. The RCRO allows a structure to be 85 feet to the highest occupied floor plate.

The RCRO allows two levels of podium style parking above grade, if approved by the Planning Commission based on the applicant providing architectural design and materials that address pedestrian scale. Typically, ground floor elevations facing a street or drive are required to have 40% glass between three to eight feet above grade. The Planning Commission may allow for a reduction to this amount if the applicant can demonstrate the floor plan required by the use cannot effectively accommodate this requirement and other architectural elements are used to create a visually interesting façade and provide a human scale and details. Because this building includes podium style parking at the ground floor, 40% glass is not practical. To address this, the building has been designed with the most visual corner of the building to include two stories of store front windows. The ground floor parking level also includes screened openings similar to windows with material and color variations to break up the expanse of the wall areas. The Planning Commission will need to determine if the two levels of podium parking have been appropriately designed and enough visual interest has been provided to allow a reduction in the amount of ground floor glass. This building is not directly adjacent to a public road, and, therefore is not required to have any ground floor uses other than parking.

All elevations include balconies and façade shifts with a combination of colors and materials to avoid blank walls as required. The roofline of the proposed building includes variations in parapet height. The applicant has proposed the exterior of the building to have the following materials:

- Exterior finish plaster
- Corrugated metal
- Fiber-cement panel and siding
- Brick
- Metal garage screening
- Perforated metal railings

The ordinance limits the amount of stucco to 25% on a front elevation and 50% on all other elevations. The applicant will need to clarify the amount of stucco (plaster) on each elevation and clearly show the location of each material. The Planning Commission can allow more stucco if warranted.

The applicant has provided colored elevations. Color samples will need to be provided to verify the exterior colors to be used.

Screening of Trash/Mechanical.

Trash collection for the residential building will occur in the parking levels inside the building. The existing office building will have an enclosed dumpster area near the commercial parking

structure in approximately the same location as the existing trash enclosure. All mechanical equipment for the residential building will be screened on top of the roof.

Commercial Parking Structure.

Standards for parking structures in the RCRO include the following. Because parking structures are encouraged over surface parking in the RCRO, the Planning Commission may waive one or all of these requirements if it is demonstrated that the requirement is not feasible and other architectural methods to blend the structure with neighboring structures and screen visual impacts are utilized.

- Parking structures shall contain ground level retail, office or display windows along all street-fronting facades.
- Parking structures that are not located adjacent to or within clear sight of a public street shall utilize plant material as screening to minimize the visual impact.
- Parking structures shall be designed with an architectural theme similar to the adjoining structures.
- Walls, materials, patterns, colors shall conform to the standards for all buildings in the area.

The proposed commercial parking structure is located behind the existing office building and directly adjacent to another existing parking structure; there is no street frontage requiring ground level retail, office or display windows. The applicant has proposed some trees along the south and east elevations of the structure adjacent to the main driveways through the site. Staff would recommend additional columnar type trees be planted along these elevations in addition to the required building foundation landscaping. The applicant is proposing the exterior of the structure to include an exterior finish plaster (similar in color to the office building), concrete columns and cable railing. With some additional landscape, Staff believes this structure, with its location, complies with the architectural requirements of the Overlay. The west elevation of the structure, because it is located on the property line, will not be able to have any openings per the Building Code. The stairwell door proposed at the southwest corner of the structure will need to be relocated.

Conditional Use Permit

The RCRO allows multi-family residential projects as a conditional use. In addition to complying with the development standards of the Overlay, the following general criteria for a conditional use must be found:

General Review Criteria:

1. The application complies with all applicable provisions of the zoning ordinance, state and federal law;
2. The structures associated with the use are compatible with surrounding structures in terms of use, scale, mass and circulation;
3. The use is not detrimental to the public health, safety and welfare;
4. The use is consistent with the Midvale City General Plan, as amended;

5. Traffic conditions are not adversely effected by the proposed use including the existence of or need for dedicated turn lanes, pedestrian access, and capacity of the existing streets;
6. Sufficient utility capacity;
7. Sufficient emergency vehicle access;
8. Location and design of off-street parking as well as compliance with off-street parking standards provided for in §17-7-12.1.5 (A);
9. Fencing, screening, and landscaping to separate the use from adjoining uses and mitigate the potential for conflict in uses;
10. Compatibility of the proposed mass, bulk, design, orientation, and location of the structures on the site; including compatibility with buildings on adjoining lots and to the street; and
11. Exterior lighting that complies with the lighting standards of the zone and is designed to minimize conflict and light trespass with surrounding uses.

Provided the Planning Commission agrees with the request to amend the General Plan and rezone the property to include the RCRO, Staff believes the proposed site plan, with the recommended conditions, can address the conditional use criteria.

Planning Commission Determinations

Generally, the proposed site plan complies with the specific requirements and development standards for the RC zone and RCRO, subject to the applicant addressing some required items, i.e. sewer service letter, detailed landscape and lighting plan, etc. There are some items, however, that require specific review and approval (recommendation) by the Planning Commission. These include:

- Is the proposed General Plan Amendment appropriate?
- Does the proposed site plan/conditional use fulfill the goals to allow a rezone of the residential lot to include the Regional Commercial Residential Overlay?
- Are appropriate and adequate recreational amenities being provided for the multi-family development?
- Is the Planning Commission comfortable with 41 required parking stalls for the multi-family residential use being located in the proposed commercial parking structure? (Subject to the applicant providing parking stall layout for all levels of the parking structure and clarifying the parking stall count in the residential building.)
- Is the Planning Commission comfortable with the design and architecture of the proposed residential building with two levels of podium style parking and a reduction in the amount of ground floor glass along the north elevation?
- Is the Planning Commission comfortable with the proposed residential building design and architecture, including exterior materials and colors?
- Is the Planning Commission comfortable with the amount of stucco being proposed on the residential building? (The amount of stucco being proposed needs to be clarified by the applicant.)
- Is the Planning Commission comfortable with the proposed design and architecture of the proposed commercial parking structure?
- Is the Planning Commission comfortable with the recreational amenities, landscaping, and building exterior details of the plan being reviewed and approved by Staff as part of

the Final Site Plan? (The Planning Commission has the option to require specific items be brought back for Planning Commission review and approval in the future, or can require these details upfront.)

STAFF RECOMMENDATION:

Overall, Staff believes this proposal is appropriate for the area and fits with the vision for this area to become more viable and successful. There are a few requirements that need to be finalized before final approvals can be granted, but Staff believes these can be done as conditions at this time.

Staff recommends that the Planning Commission conducts a public hearing on this request, considers the public comments received, and discusses and considers the items stated above. Provided the Planning Commission is comfortable with the applicant’s proposal or by imposing additional changes, Staff would recommend the Planning Commission forwards positive recommendations to the City Council to: (1) amend the General Plan Proposed Land Use Map for the overall property changing the land use designation from office use to mixed use; (2) approve the proposed preliminary subdivision plat with the conditions recommended below; and (3) rezone the 2.46 acre residential lot to include the Regional Commercial Residential Overlay, provided the redevelopment of the property follows the proposed overall site plan and conditional use permit. Staff further recommends that the Planning Commission approves the overall preliminary site plan and conditional use permit for the proposed multi-family use with the conditions recommended below.

RECOMMENDED MOTIONS:

Recommendation 1 - General Plan Amendment

“Recognizing that a mix of residential and commercial uses is important to provide the critical mass necessary to support the existing commercial and attract new, viable businesses to the Fort Union area, and in keeping with the concept of the newly adopted Regional Commercial Residential Overlay, I move that we forward a positive recommendation to the City Council to amend the General Plan Proposed Land Use Map to include the 5.58 acre property located at 7090 South Union Park Avenue as part of the ‘Mixed Use’ land use designation.”

Recommendation 2 – Preliminary Subdivision Plat

“Based on compliance with the zoning and subdivision requirements, I move that we forward a positive recommendation to the City Council to approve the preliminary subdivision plat for the Union Woods Subdivision with the following conditions:

- 1. The applicant shall prepare a final subdivision plat to be reviewed and approved by the City Engineer and City Council.*
- 2. The final subdivision plat shall note all existing easements to remain on the property, including the access easement for the property to the north, the East Jordan Canal easement (Salt Lake City Public Utilities), and utility easements.*

3. *The final subdivision plat shall note all new parking and access easements between the two lots, as well as any other operational agreements required for the project.*”

Recommendation 3 – Rezone

“Based on consistency with the General Plan, and the finding that the proposed redevelopment of the 7090 South Union Park Avenue property fulfills goals A-G of the Regional Commercial Residential Overlay and supports and enhances the existing Fort Union commercial area, I move that we forward a positive recommendation to the City Council to rezone the proposed Lot 2 of the Union Woods Subdivision to include the Regional Commercial Residential Overlay. It is recommended that the effective date of the ordinance approving the rezone be tied to the City Council’s approval and execution of a Development Agreement for the project site.”

Recommendation 4 – Preliminary Site Plan

“Based on the following findings:

1. *With the conditions included with the Planning Commission’s approval, the proposed preliminary site plan complies with the development standards and requirements of the Regional Commercial Zone and the Regional Commercial Residential Overlay;*
2. *The proposed recreational amenity areas are appropriate and adequate for the proposed multi-family development;*
3. *Because of the proposed proximity and pedestrian connections between the proposed apartment building and commercial parking structure, some of the required parking stalls for the proposed apartment building may be located in the proposed commercial parking structure, provided the number of stalls does not exceed 12% of the required apartment building parking and the number of parking stalls in the parking structure is at least 260 stalls;*
4. *With the proposed design and architectural details of the apartment building, including: the northeast corner having two story store front windows; the ground floor parking level having screened openings similar to window openings; the exterior material and color variations; and the building location not being directly adjacent to a public right-of-way; the two levels of podium parking and reduction in the amount of ground floor glass along the north elevation are appropriate;*
5. *The overall proposed apartment building design, including balconies, façade shifts, and variation in exterior materials and colors, is appropriate for the area; and*
6. *Based on the location, design and the exterior materials and colors being compatible with the existing office building and proposed apartment building, the proposed commercial parking structure is appropriate for the area;*

I move that we approve the Preliminary Site Plan for the proposed redevelopment of the property at 7090 South Union Park Avenue with the following conditions:

1. *This approval is contingent upon the City Council approving the General Plan Amendment changing the land use designation from office to mixed use and rezoning Lot 2 of the Union Woods Subdivision to include the Regional Commercial Residential Overlay.*

2. *The applicant shall obtain a “will serve” letter from Cottonwood Improvement District for sewer service prior to approval of the Development Agreement.*
3. *The applicant shall comply with all requirements from the City Engineer and Fire Marshal.*
4. *The applicant shall continue to work with Salt Lake Public Utilities in addressing any issues with the East Jordan Canal easement.*
5. *The apartment building and commercial parking structure shall comply with the International Building Code. At a minimum, the stairwell door proposed at the southwest corner of the parking structure will need to be relocated.*
6. *A snow removal plan for the site shall be prepared.*
7. *A landscape plan documentation package shall be prepared. This plan shall include all plant materials, sizes and irrigation. The plan shall also include the following:*
 - *Protection of existing landscaping to remain.*
 - *Five additional street trees along Union Park Avenue to bring current office area landscaping into compliance with current street tree requirement of one tree per 30 feet of frontage.*
 - *Building foundation landscaping along the north elevation of residential building; and the north, south and east elevations of the commercial parking structure.*
 - *Twenty-five percent of the new trees and shrubs are required to be an evergreen variety.*
 - *One tree for every 400 square feet of landscape area.*
 - *Additional columnar type trees planted along the east and south parking structure elevations.*
8. *Detailed plans for the outdoor recreational amenity areas (courtyards) shall be prepared.*
9. *Crosswalks, where the proposed and existing walkways cross driveways through the site, shall be stamped concrete or asphalt, or other distinguishable material.*
10. *The applicant shall work with the owner of The Shops at Fort Union and receive permission to construct the proposed walkway connections across The Shops’ property.*
11. *The applicant shall verify parking stall counts in the podium style parking in the apartment building and provide the parking layout for all levels in the commercial parking structure.*
12. *An exterior lighting plan, complying with the City’s exterior lighting standards, for the surface parking areas, including the existing surface parking lot, and the parking structure shall be prepared.*
13. *The building elevations for the apartment building and commercial parking structure shall clearly show all exterior materials and colors. Color samples shall be provided.*
14. *A detail of the trash enclosure for the existing office building shall be prepared. The enclosure shall provide complete screening and be compatible with the building and parking structure.*
15. *The final site plan shall be prepared in accordance with Section 17-3-3 E of the Zoning Ordinance and shall be reviewed and approved by the City Engineer, Fire Marshal and City Planner. The final site plan shall address the conditions of this approval.*
16. *The applicant shall work with the City in drafting a Development Agreement for this project site. This agreement will need to be executed in conjunction with the effective date of the ordinance approving the rezone to allow the Regional Commercial Residential Overlay. The Development Agreement shall include a phasing and construction*

management plan addressing, at a minimum, how the existing office building will function during construction and provide temporary parking location(s) if necessary.”

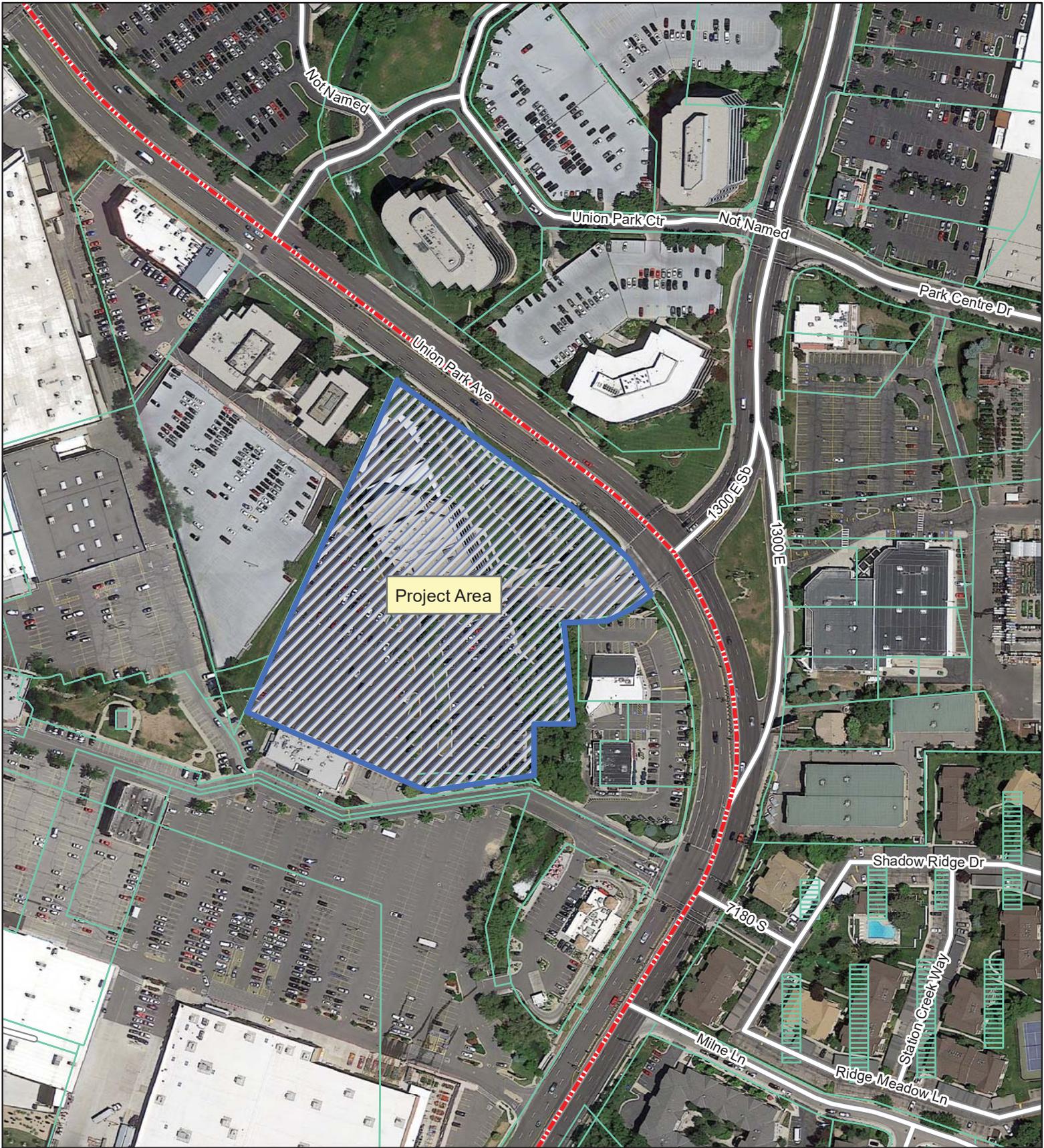
Recommendation 5 – Conditional Use Permit

“Based the site plan with the approved conditions adequately addressing the conditional use criteria, I move that we approve the Conditional Use Permit allowing a multi-family residential use within this project. This permit is contingent upon the City Council approving the requested General Plan Amendment, Rezone and Development Agreement for this project.”

ATTACHMENTS:

- Vicinity Map
- Proposed Preliminary Site Plan – Site Layout, Landscape Plan, Building Elevations
- General Plan Proposed Land Use Map
- Proposed Subdivision Plat
- Zoning Map
- Summary of Goals for Rezone

PUBLIC NOTICE: No Yes



**Union Woods
7090 S. Union Park Avenue**

UNION WOODS

MIDVALE, UTAH

Project Team

OWNER:
Hines
 178 S. Rio Grande St., Suite 305
 Salk Lake City, UT. 84101
 (801) 456-0099
 Attn: Dustin Harris

PROJECT SITE
 7090 South Union Park Avenue

ARCHITECT:
Architects Orange
 144 N. Orange Street
 Orange, CA 92866
 (714) 639-9860
 Attn: Tobin Symmank

CIVIL ENGINEER:
McNeil Engineering
 8610 Sandy Parkway, Suite 200
 Sandy, UT. 84070
 (801) 225-7700 Ext. 114
 Attn: Ted Didas



Sheet Index

ARCHITECTURE

- A1.0 Title Sheet
- A2.0 Site Plan
- A2.1 F.H. & Street Lights Diagram
- A2.2 Solid Waste Plan
- A3.0 Garage Plan Level 1
- A3.1 Garage Plan Level 2
- A3.2 1st Residential Level
- A3.3 2nd Residential Level
- A3.4 3rd-5th Residential Level
- A3.5 Open Space/ Impervious Coverage
- A4.0 Residential Building Elevations
- A4.1 Residential Perspectives
- A4.2 Residential Perspectives
- A4.3 Office Parking Structure Elevations
- A5.0 Conceptual Landscape Plan

CIVIL ENGINEER

- C0.01 General Notes
- C1.01 Horizontal Control Plan
- C2.01 Grading and Drainage Plan
- C2.02 Erosion Control Plan
- C4.01 Utility Site Plan
- C5.01 Civil Details
- SU-1 ALTA/ NSPS Land Title Survey
- Su-2 ALTA/ NSPS Land Title Survey

Residential Building/ Unit Tabulation

HINES - Union Woods Midvale Utah															07.15.16	
5 Story Residential above 2-Story of Parking															TOTAL	
LEVEL	STUDIO	1BR						2BR						TOTAL		
	S1	A1	A2	A3	A3A	A3B	B1	B1A	B1B	B2	B2A	B3	B4	B5	B6	
1	4	11	4	3	1	1	1	1	0	4	2	4	1	1	1	39
2	4	12	4	1	1	1	3	1	1	4	2	4	1	1	1	41
3	4	12	4	1	1	1	3	1	1	6	2	4	1	1	1	43
4	4	12	4	1	1	1	3	1	1	6	2	4	1	1	1	43
5	4	12	4	1	1	1	3	1	1	6	2	4	1	1	1	43
TOTAL	20	59	20	7	5	5	13	5	4	26	10	20	5	5	5	209
	9.6%	28.2%	9.6%	3.3%	2.4%	2.4%	6.2%	2.4%	1.9%	12.4%	4.8%	9.6%	2.4%	2.4%	2.4%	100%
	9.6%			45.9%						44.5%						

Residential Parking Tabulation

Residential Parking Required:				7/29/2016
Unit Type	Unit Count	Stalls/Unit	Stalls Req'd	
Studio	20	1.00	20	
1 BD	96	1.00	96	
2 BD	93	2.00	186	
Total Residential	209	1.44	302	
Guest		0.25	52	
Total Required		1.69	354	
Residential Parking Provided			302	
Guest Provided			52	
Total Provided			354	

Residential Accessible Stalls:				Req'd Accessible
Res. Assigned Stalls	209	2%	4.18	= 5 Req'd
Guest Stalls	52	5%	2.60	= 3 Req'd
Access. Van Parking	1 per 6 H/C stalls		= 6 H/C + 2 H/C Van stalls	

Office Parking Tabulation

Office Parking Required:				7/29/2016
Commercial Office SpaceType	S.F.	Ratio	Stalls Req'd	
Professional Business Services	82,052	0.003	247	
Total Required			247	

Office Accessible Stalls:			Req'd Accessible
Office Accessible Stalls:	247	2%	4.94 = 5 Req'd
Access. Van Parking	1 per 6 H/C stalls		= 4 H/C + 1 H/C Van stalls

Office Parking Provided:			
Stall Type	Office		TOTAL STALLS
	Standard	HC Stalls	
Residential Shared Guest at L1	41	0	41
Office Pkg. Structure: L1	29	0	29
Office Pkg. Structure: L2	69	0	69
Office Pkg. Structure: L3	69	0	69
Office Pkg. Structure: L4	53	0	53
Total Parking Structure	261	0	261
Existing Surface Parking	22	5	27
TOTAL			288

*Note: Property owner reserves the right to change or possibly provide one or more additional level(s) of office parking below grade (exceeding City requirements) and/or a request for a shared parking reduction as contemplated in the overlay zone.

Vicinity Map - NTS



DWELLING UNIT INFO				
Unit	Unit SF	Qty.	%	SF TOT.*
S1	512	20	9.6%	10,240
A1	625	59	28.2%	36,875
A2	741	20	9.6%	14,820
A3	690	7	3.3%	4,830
A3A	675	5	2.4%	3,375
A3B	710	5	2.4%	3,550
B1	1012	13	6.2%	13,156
B1A	1006	5	2.4%	5,030
B1B	1000	4	1.9%	4,000
B2	1128	26	12.4%	29,328
B2A	1211	10	4.8%	12,110
B3	1177	20	9.6%	23,540
B4	1100	5	2.4%	5,500
B5	1,011	5	2.4%	5,055
B6	1,009	5	2.4%	5,045
Avg	844	209	100%	176,454

* RESIDENTIAL UNIT NET AREA
 DENSITY: 2.46 Acres 85.0 du/ac

PARKING GARAGE - TYPE IB - NON COMBUSTIBLE FULLY SPRINKLERED NFPA 13
 RESIDENTIAL BUILDING - TYPE IIIA - SPRINKLERED NFPA 13

Res. Building Area

Unit Averages	
STUDIO	512
1-BD	661
2-BR	1105

Residential Building Area (GSF)	
Level 1 - Parking	62,436
Level 2 - Parking	50,183
Podium Level - 1st Residential Level	46,217
Podium Level - 2nd Residential Level	43,810
Podium Level - 3rd Residential Level	46,217
Podium Level - 4th Residential Level	46,217
Podium Level - 5th Residential Level	46,217
TOTAL GROSS AREA	341,297

Residential Amenities	
Club House	3,502
Fitness	1,889
Leasing	2,030
Restrooms	742
TOTAL PROVIDED	8,163

Residential Parking Provided:						
Stall Type	Residential			Guest		TOTAL STALLS
	Standard	Compact	Tandem	HC Stalls	Std Stalls	
Res. Pkg. Structure: L1	133		10	3		146
Res. Pkg. Structure: L2	122		7	2		131
Surface Parking	25				8	36
In Office Parking Structure					41	41
TOTALS	280	0	17	5	49	354

Residential Open Space

Residential Open Space Required		
TOTAL SITE AREA	100%	107,293
TOTAL REQUIRED	30%	32,188

Residential Open Space Provided	
OPEN AREA SECTION	PROVIDED
Pool Court 1	10,661
Courtyard 2	2,412
Landscaped Creek Area	16,157
Landscaped South Area	5,953
Landscaped North Area	7,679
TOTAL PROVIDED	42,862

Impervious Coverage

Residential Parcel Impervious Coverage		
IMPERVIOUS COVERAGE AT GRADE	PROVIDED	
Residential Building	59,110	55%
Drive Aisle and Parking	18,399	17%
Sidewalks	3,406	3%
TOTAL IMPERVIOUS COVERAGE	80,915	75%
PERVIOUS COVERAGE AT GRADE	PROVIDED	
Landscape (approximate SF)	26,371	25%
SITE AREA	107,286	100%

Office Parcel Impervious Coverage		
IMPERVIOUS COVERAGE	PROVIDED	
Office Bldg & Office Parking Structure	43,369	32%
Drive Aisle, Parking and Sidewalks	38,739	29%
TOTAL IMPERVIOUS COVERAGE	82,108	60%
PERVIOUS COVERAGE AT GRADE	PROVIDED	
Landscape (approximate SF)	53,799	40%
SITE AREA	135,907	100%

Office Parcel Open Space Required	40,772	30%
Office Parcel Open Space Provided	53,799	40%

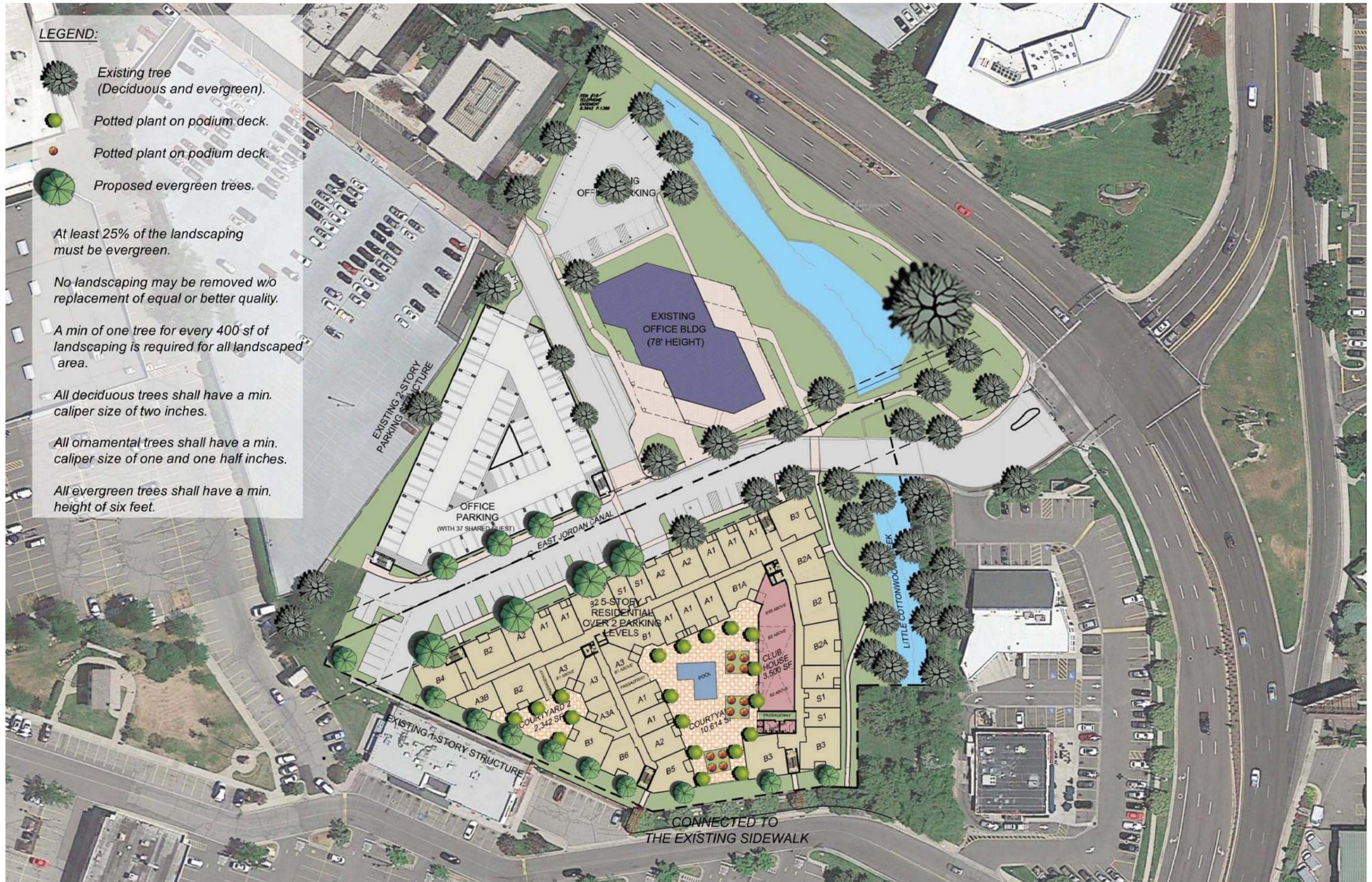
UNION WOODS MIDVALE, UTAH

HINES

A-1.0
 TITLE SHEET

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CONCEPTUAL ILLUSTRATIVE LANDSCAPE PLAN

UNION WOODS MIDVALE, UTAH
 HINES

SCALE: 1" = 40'
 0' 40' 80' 120'



A-5.0

LANDSCAPE PLAN
 CONCEPTUAL ILLUSTRATIVE LANDSCAPE PLAN

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RESIDENTIAL PARKING STRUCTURE - LEVEL 1

SCALE: 1" = 20'
 0' 20' 40' 60'

A-3.0

GARAGE PLAN - RESIDENTIAL
 GARAGE LEVEL 1

UNION WOODS MIDVALE, UTAH

HINES

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RESIDENTIAL PARKING STRUCTURE - LEVEL 2

UNION WOODS MIDVALE, UTAH

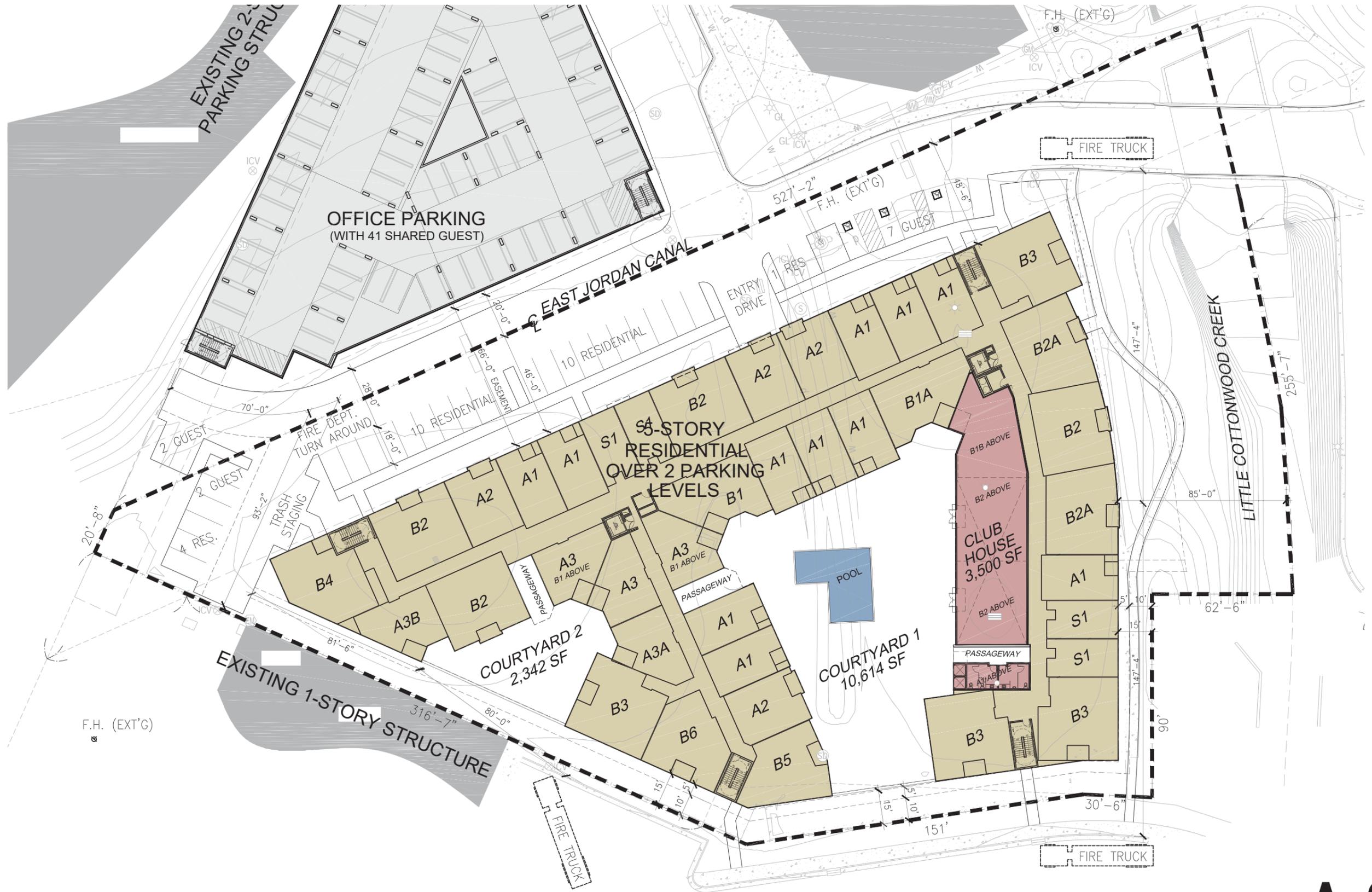
HINES

SCALE: 1" = 20'
0' 20' 40' 60'

A-3.1
GARAGE PLAN - RESIDENTIAL
GARAGE LEVEL 2

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PODIUM LEVEL/ 1ST RESIDENTIAL LEVEL

SCALE: 1" = 20'
 0' 20' 40' 60'

A-3.2

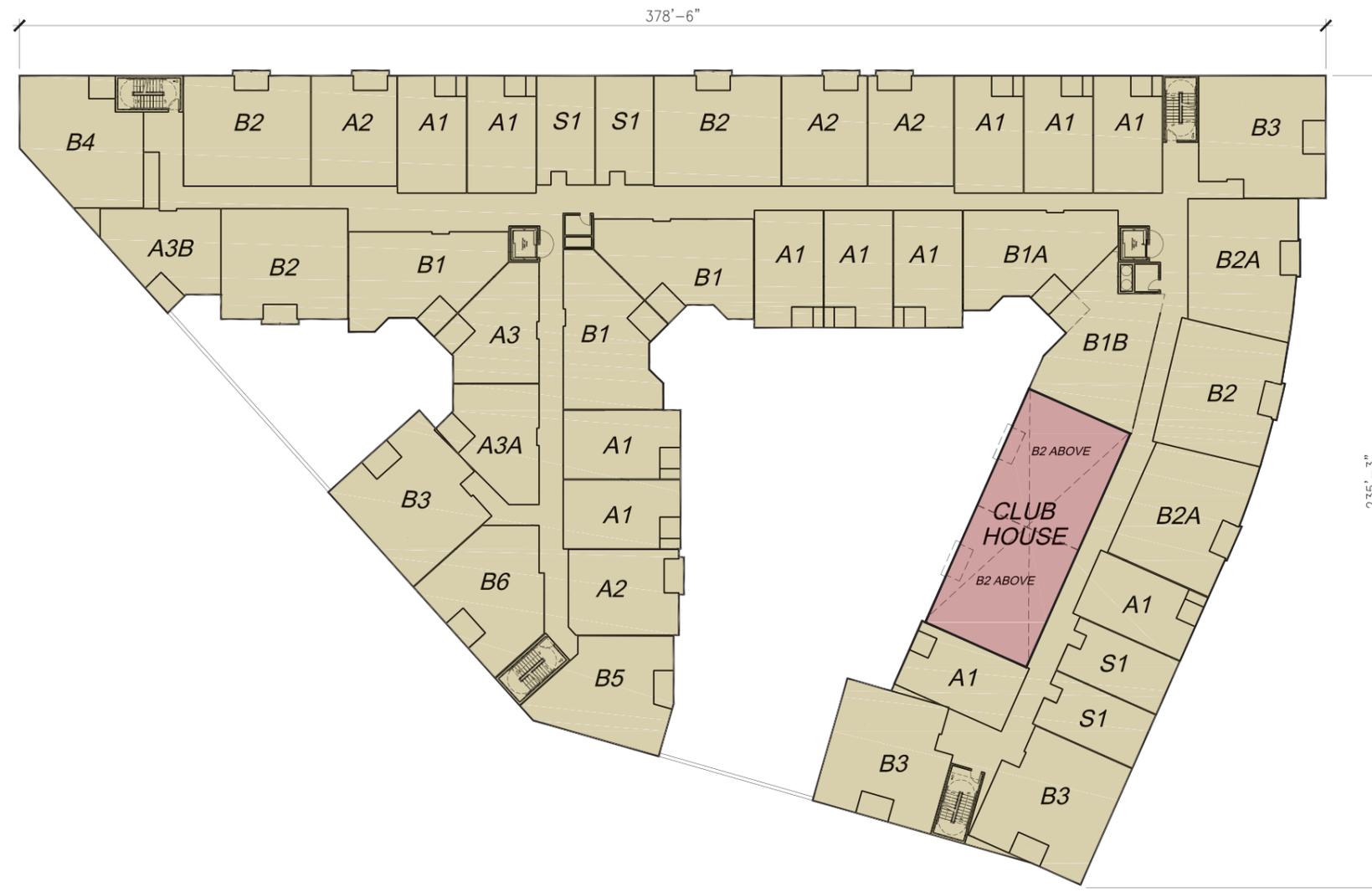
RESIDENTIAL BUILDING PLAN PODIUM LEVEL/ 1ST RESIDENTIAL LEVEL

UNION WOODS MIDVALE, UTAH

HINES

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2ND RESIDENTIAL LEVEL OVER PODIUM LEVEL

UNION WOODS MIDVALE, UTAH

HINES

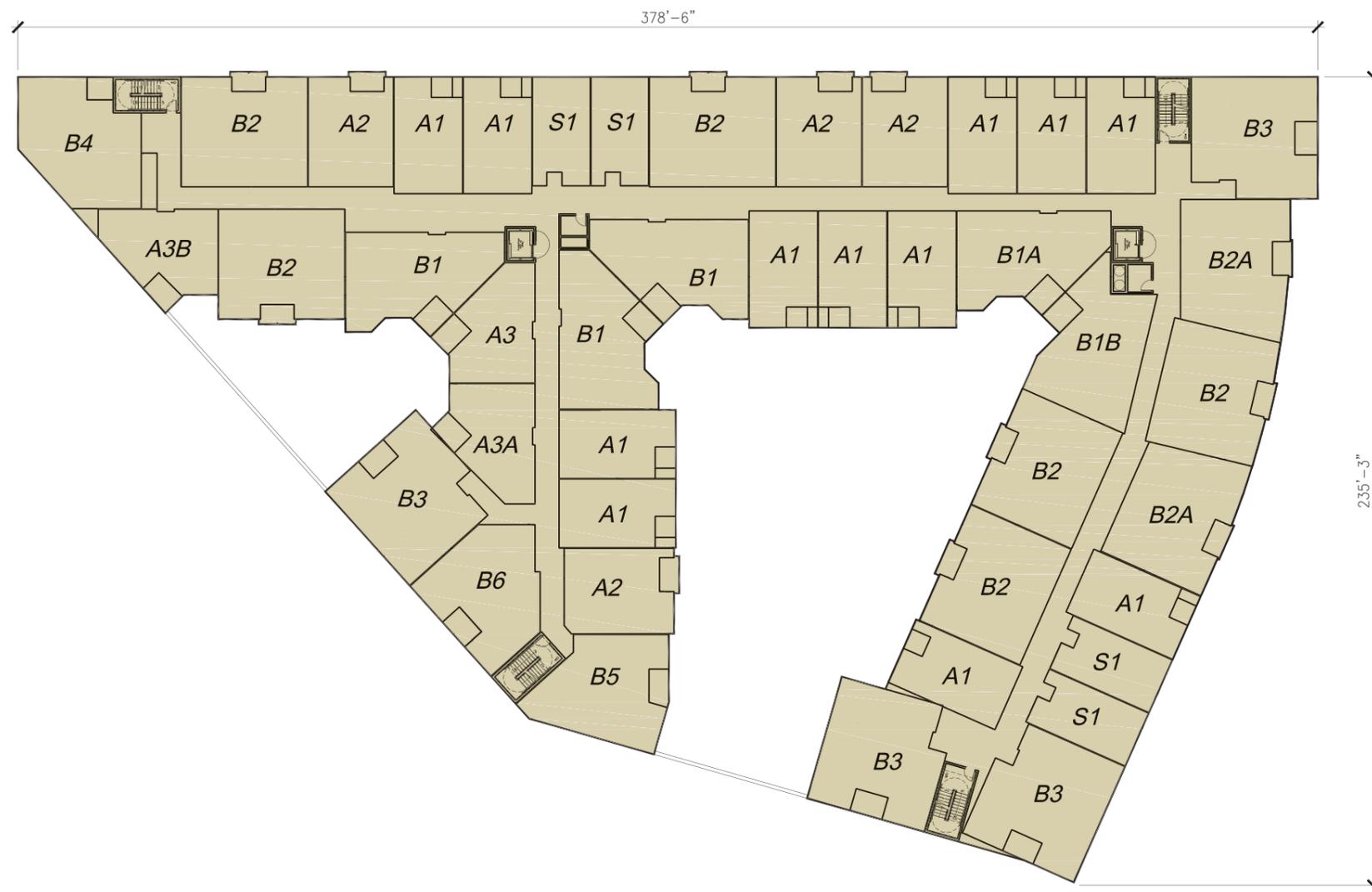
SCALE: 1" = 20'
 0' 20' 40' 60'

A-3.3

RESIDENTIAL BUILDING PLAN
 PODIUM LEVEL/ 2ND RESIDENTIAL LEVEL

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3RD-5TH RESIDENTIAL LEVEL OVER PODIUM LEVEL

UNION WOODS MIDVALE, UTAH

HINES

SCALE: 1" = 20'
 0' 20' 40' 60'

A-3.4

RESIDENTIAL BUILDING PLAN
 PODIUM LEVEL/ 3RD - 5TH RESIDENTIAL LEVEL

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1. EAST (FRONT) ELEVATION

MATERIALS AND FINISH LEGEND

- 1 EXTERIOR FINISH PLASTER
- 2 VINYL WINDOW
- 3 PERFORATED METAL RAILING
- 4 CORRUGATED METAL
- 5 CEMENTITIOUS FIBER-CEMENT PANEL
- 6 STOREFRONT WINDOW SYSTEM
- 7 METAL GARAGE SCREENING
- 8 FACE BRICK
- 9 CEMENTITIOUS FIBER-CEMENT SIDING

NOTE: ALL MATERIALS NOTED
"OR APPROVED EQUAL"

EAST (FRONT) ELEVATION:
 GROUND FLOOR MATERIALS - 100%
 STUCCO - 20%
 GROUND FLOOR GLASS - 10% (Note: The Planning Commission may allow for a reduction in the amount of transparent glass if the applicant can demonstrate the building floor plan required by the use cannot effectively accommodate this requirement.) Due to the ventilation requirements for the use of parking structure on the ground floors, a combination of brick, perforated metal, and metal slat materials are used 100% for this project.

NORTH ELEVATION:
 GROUND FLOOR MATERIALS - 100%
 STUCCO - 50%
 GROUND FLOOR GLASS - 18% (Note: The Planning Commission may allow for a reduction in the amount of transparent glass if the applicant can demonstrate the building floor plan required by the use cannot effectively accommodate this requirement.) Due to the ventilation requirements for the use of parking structure on the ground floors, a combination of brick, perforated metal, and metal slat materials are used 100% for this project.

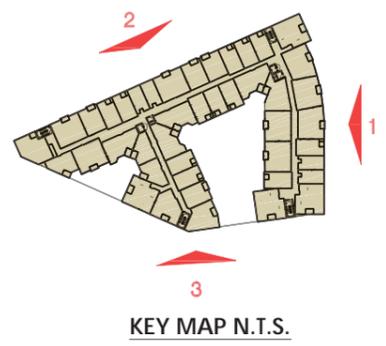
SOUTH ELEVATION:
 GROUND FLOOR MATERIALS - 100%
 STUCCO - 50%
 GROUND FLOOR GLASS - 0% (Note: The Planning Commission may allow for a reduction in the amount of transparent glass if the applicant can demonstrate the building floor plan required by the use cannot effectively accommodate this requirement.) Due to the ventilation requirements for the use of parking structure on the ground floors, a combination of brick, perforated metal, and metal slat materials are used 100% for this project.



2. NORTH ELEVATION



3. SOUTH ELEVATION



UNION WOODS MIDVALE, UTAH
 HINES

CONCEPTUAL RESIDENTIAL ELEVATIONS

SCALE: 1" = 20'
 0' 20' 40' 60'

A-4.0
 RESIDENTIAL ELEVATIONS
 NORTH, SOUTH, AND EAST RESIDENTIAL ELEVATIONS

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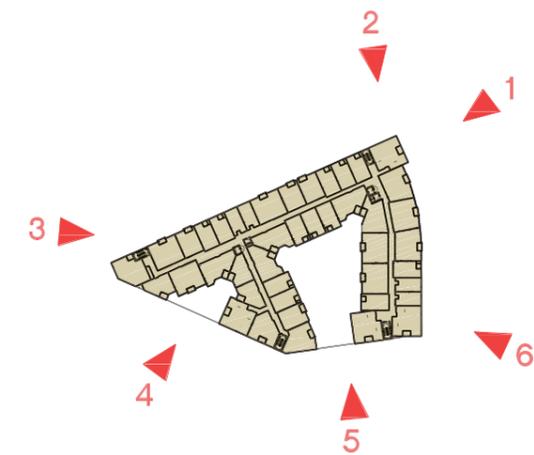
VIEW 1 - EAST



VIEW 3 - NORTH-EAST



VIEW 2 - NORTH



KEY MAP - N.T.S.

SCALE: N.T.S.

PERSPECTIVES
RESIDENTIAL BUILDING PERSPECTIVES

A-4.1

UNION WOODS MIDVALE, UTAH

CONCEPTUAL RESIDENTIAL PERSPECTIVES

HINES

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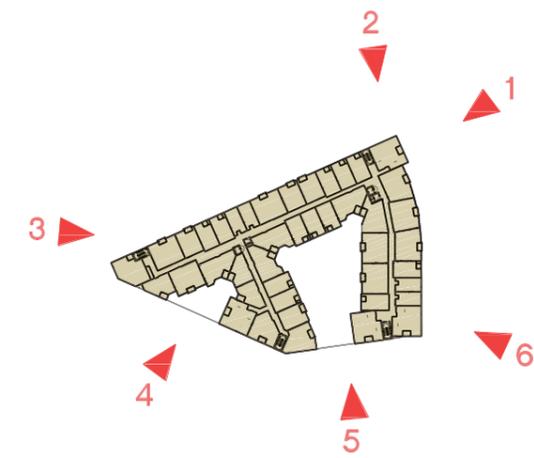
VIEW 4 - SOUTH



VIEW 6 - SOUTH-WEST



VIEW 5 - SOUTH



KEY MAP - N.T.S.

SCALE: N.T.S.

PERSPECTIVES
RESIDENTIAL BUILDING PERSPECTIVES

A-4.2

UNION WOODS MIDVALE, UTAH

CONCEPTUAL RESIDENTIAL PERSPECTIVES

HINES

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MATERIALS AND FINISH LEGEND

- 1 EXTERIOR FINISH PLASTER
- 2 CONCRETE
- 3 CABLE RAILING
- 4 CONCRETE COLUMNS



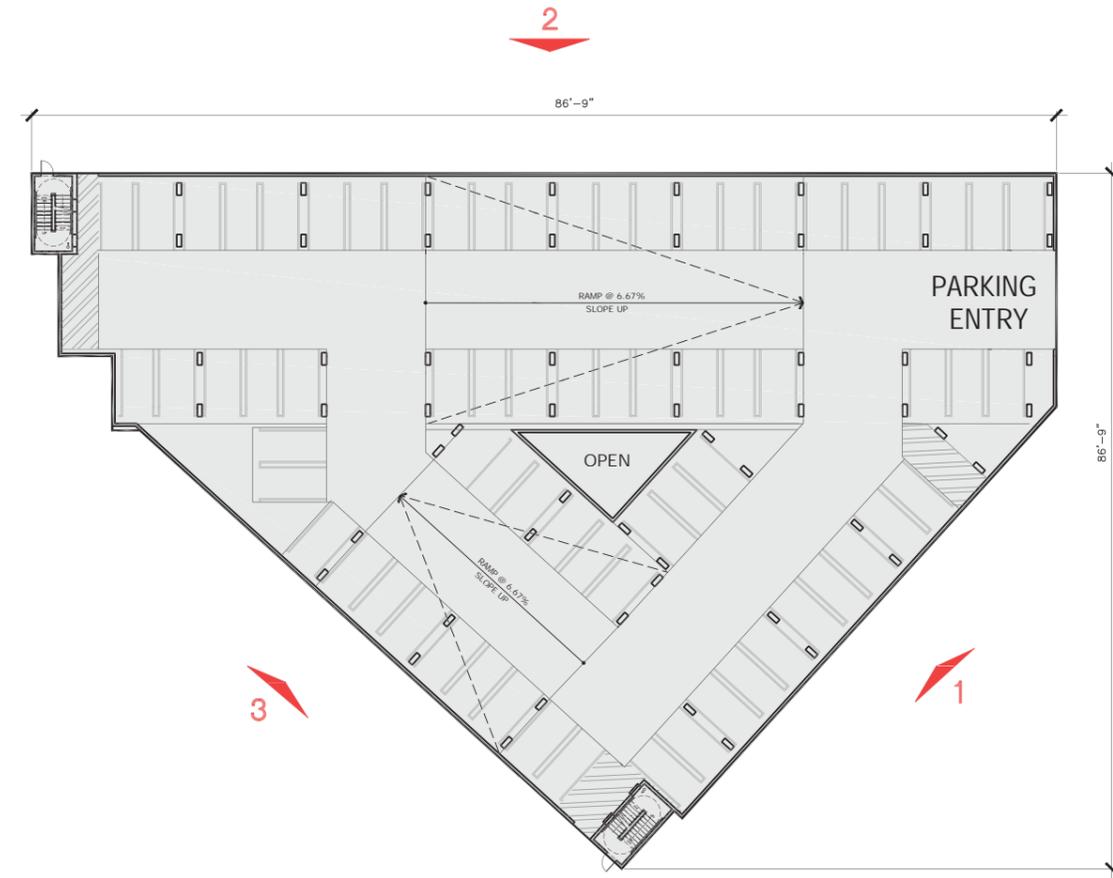
1. NORTH - EAST ELEVATION



2. WEST ELEVATION



3. SOUTH - EAST ELEVATION



OFFICE PARKING STRUCTURE (TYPICAL LEVEL)

Office Parking Required:				7/29/2016
Commercial Office SpaceType	S.F.	Ratio	Stalls Req'd	
Professional Business Services	82,052	0.003	247	
Total Required			247	

Office Accessible Stalls:		Req'd Accessible
Office Accessible Stalls:	247	2%
Access. Van Parking	1 per 6 H/C stalls	= 4 H/C + 1 H/C Van stalls
		= 5 Req'd

Office Parking Provided:				
Office Parking Structure	Stall Type	Office		TOTAL STALLS
		Standard	HC Stalls	
	Residential Shared Guest at L1	41	0	41
	Office Pkg. Structure: L1	29	0	29
	Office Pkg. Structure: L2	69	0	69
	Office Pkg. Structure: L3	69	0	69
	Office Pkg. Structure: L4	53	0	53
Total Parking Structure		261	0	261
Existing Surface Parking		22	5	27
TOTAL				288

*Note: Property owner reserves the right to change or possibly provide one or more additional level(s) of office parking below grade (exceeding City requirements) and/or a request for a shared parking reduction as contemplated in the overlay zone.

UNION WOODS MIDVALE, UTAH

CONCEPTUAL OFFICE PARKING STRUCTURE

HINES

SCALE: 1" = 20'
 0' 20' 40' 60' **A-4.3**
OFFICE PARKING STRUCTURE

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FIGURE 4-6

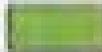
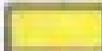
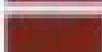
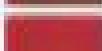


MIDVALE CITY

MIDVALE CITY GENERAL PLAN

PROPOSED LAND USE MAP

LEGEND

-  RESIDENTIAL (LOW)
-  RESIDENTIAL (MEDIUM)
-  RESIDENTIAL (HIGH)
-  RESIDENTIAL (MOBILE HOME PARK)
-  OFFICE
-  MIXED USE
-  COMMERCIAL
-  GOVERNMENT AND PUBLIC AGENCIES
-  HEALTH FACILITIES



UNION WOODS SUBDIVISION

NORTHEAST QUARTER OF SECTION 29,
TOWNSHIP 2 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN
MIDVALE CITY, UTAH

$\Delta=20^{\circ}18'47''$
 $R=455.87'$
 $L=161.62'$
 $CB=N 43^{\circ}07'53'' W$
 $C=160.77'$



VICINITY MAP

SCALE: N.T.S.

SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 4861599, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

UNION WOODS SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAN.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF INTERSTATE I-15, SAID POINT BEING SOUTH $89^{\circ}52'20''$ WEST ALONG THE SECTION LINE 114.49 FEET; AND SOUTH $13^{\circ}16'16''$ WEST ALONG SAID RIGHT OF WAY LINE, AND SOUTH $57^{\circ}17'17''$ EAST ALONG SAID RIGHT OF WAY LINE 542.88 FEET FROM THE NORTHEAST CORNER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE SOUTHEASTERLY ALONG SAID RIGHT OF WAY LINE THE FOLLOWING TWO COURSES:

1) SOUTH $53^{\circ}17'17''$ EAST 384.77 FEET TO A POINT OF CURVATURE; 2) SOUTH EASTERLY ALONG THE ARC OF A 455.87 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF $24^{\circ}07'28''$ A DISTANCE OF 191.95 FEET, CHORD BEARS SOUTH $41^{\circ}13'32''$ EAST 190.54 FEET; THENCE SOUTH $87^{\circ}58'01''$ WEST 165.44 FEET TO THE CENTER LINE OF LITTLE COTTONWOOD CREEK; THENCE SOUTHERLY ALONG SAID CREEK CENTER LINE THE FOLLOWING TWO COURSES: 1) SOUTH $13^{\circ}31'59''$ EAST 10.00 FEET TO THE POINT OF CURVATURE; 2) SOUTHEASTERLY ALONG THE ARC OF A 448.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF $13^{\circ}42'13''$ A DISTANCE OF 153.07 FEET, CHORD BEARS SOUTH $4^{\circ}40'52''$ EAST 152.71 FEET; THENCE SOUTH $89^{\circ}58'01''$ WEST 62.50 FEET; THENCE SOUTH $0^{\circ}01'59''$ EAST 90.00 FEET; THENCE NORTH $87^{\circ}29'53''$ WEST 30.54 FEET; THENCE SOUTH $81^{\circ}33'45''$ WEST 150.97 FEET; THENCE NORTH $65^{\circ}55'00''$ WEST 316.70 FEET; THENCE NORTH $24^{\circ}05'00''$ EAST 590.88 FEET TO THE POINT OF BEGINNING.

DAVID B. DRAPER
LICENSE NO. 4861599

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT UNION WOODS ACQUISITION PARTNERS, LLC, THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE:

UNION WOODS SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC, ALL PARCELS OF LAND SHOWN ON THIS PLAN AS INTENDED FOR PUBLIC USE, IN WITNESS

UNION WOODS ACQUISITION PARTNERS, LLC.

BY _____
AUTHORIZED AGENT

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D.

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF SALT LAKE } S.S.

ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME _____, WHO BEING BY ME DULY SWORN, DID SAY THAT HE/SHE/THEY IS/ARE THE _____ OF _____, BY AUTHORITY OF ITS MEMBERS OR ITS ARTICLES OF ORGANIZATION, AND HE/SHE ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

NOTARY PUBLIC: _____
MY COMMISSION EXPIRES: _____ RESIDING: _____ COUNTY: _____

UNION WOODS SUBDIVISION

NORTHEAST QUARTER OF SECTION 29,
TOWNSHIP 2 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN
MIDVALE CITY, UTAH

SALT LAKE COUNTY RECORDER

RECORD NO. _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEE \$ _____ SALT LAKE COUNTY RECORDER



NORTH



SCALE: 1" = 20'

LEGEND

- EASEMENT LINE
- - - - SUBDIVISION BOUNDARY
- - - - SECTION LINE
- - - - MONUMENT LINE/CENTER LINE OF ROAD
- - - - LOT LINE
- SUBDIVISION BOUNDARY CORNER, COPPER PLUG OR REBAR & CAP OR NAIL & WASHER STAMPED "MCNEIL ENGR"
- LP ✱ EXISTING LIGHT POLE
- ▨ 20' SHARED ACCESS & MAINTENANCE EASEMENT
- ⊕ EXISTING FIRE HYDRANT
- PU & DE PUBLIC UTILITY AND DRAINAGE EASEMENT

SHEET

1

OF

1

DEVELOPER
UNION WOODS
ACQUISITION PARTNERS, LLC
ADDRESS
CITY, ST, ZIP
CONTACT (EMAIL OR PHONE)

PREPARED BY:
McNEIL ENGINEERING™
Economic and Sustainable Design, Professionals You Know and Trust
3610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 www.mcneilengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

MIDVALE CITY PLANNING & ZONING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D., 20____,
BY THE MIDVALE CITY PLANNING AND ZONING COMMISSION:
CHAIRMAN, MIDVALE PLANNING COMM.

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____,
MIDVALE CITY ATTORNEY

HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D., 20____, BY THE
SALT LAKE COUNTY HEALTH DEPARTMENT.
SALT LAKE VALLEY HEALTH

CITY COUNCIL APPROVAL

PRESENTED TO THE MIDVALE CITY COUNCIL THIS _____ DAY OF _____ A.D.,
20____ AT WHICH TIME IT WAS APPROVED AND ACCEPTED.
ATTEST: CITY RECORDER _____ MAYOR _____

CITY ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE HAD THIS PLAN EXAMINED BY THIS OFFICE AND IT IS CORRECT
AND IN ACCORDANCE WITH INFORMATION ON FILE AND IS HEREBY APPROVED.
DATE: _____ MIDVALE CITY ENGINEER _____

S:\2016files\16404_Civil\Prod_Dwg\16404_Preliminary_Plan.dwg Sep 27, 2016 - 10:09am

Union Woods – Proposed Project Meets Overlay Zone Goals

A. Provides critical mass necessary to help facilitate the transition of regional commercial shopping centers into vibrant mixed-use developments;

- Project will include 209 units.
- Will be the area's first new high-density multifamily in years, bringing new critical mass of shoppers.
- Is located directly adjacent to area retailers.

B. Creates a consistently high quality urban environment;

- Hines is a premier global developer of high quality institutional projects, with 8,500 units completed or under development.
- Architects Orange is known for its high density quality apartment project designs.
- The materials committed to the exterior will be of high quality and the interior finishes will exceed those of other units in the area.

C. Enhances the investment of those locating within the Regional Commercial zone;

- Retailers benefit from increased foot traffic, enhancing the value of their location.
- Residents benefit from easy access to grocers, restaurants, and work locations.

D. Promotes economic development by increasing the utilization of existing parcels within current developments;

- This project maximizes use and value of the property by replacing a large surface parking lot with an institutional apartment project full of new residents/customers for adjacent retail uses.
- The project also complements the use of commercial office and has an opposite traffic pattern, i.e., apartment cars will leave the site when office cars enter the site and vice versa.

E. Eliminates large underutilized surface parking areas by utilizing alternate parking methods, including but not limited to structured parking and shared parking;

- The project will replace over 300 surface stalls with structured and shared parking, opening up land area for vertical development.

F. Provides compatibility between residential and commercial uses to create a comfortable environment for both shoppers and residents; and

- The project will include new pedestrian walkways and access points that provide for comfortable and short walks from residences to retailers and offices.
- Landscaping, open spaces, and ground-floor materials will be consistent with neighboring properties and attractive to pedestrians.

G. Provides pedestrian connections within and among developments to support pedestrian activity in existing auto-oriented developments and encourages pedestrian movement.

- Project walkways will tie in with neighboring walkways to allow for easy access.
- Doors around the ground floor and pedestrian connections will enable access to neighboring properties in each direction.
- Several open spaces create opportunities for gatherings and activities.

Midvale City
Department of Community Development
Planning and Zoning Department

Planning and Zoning Commission Staff Report

APPLICATION:	Zoning Ordinance Text Amendment – Adjusting Fence Height & Clarifying Language & Standards - Citywide
APPLICANT:	City Staff
FILE #:	TXT 16-004
REQUEST:	Text Amendment
MEETING DATE:	Wednesday, October 12, 2016 (Continued from September 28, 2016)
ZONING DESIGNATIONS:	Citywide
AUTHOR:	Matt Hilderman, Associate Planner
APPLICABLE ORDINANCE (S):	Title 17 Zoning; Chapter 17-7-1 – Chapter 17-7-15
AGENDA #:	2

SUMMARY:

During our initial discussion on April 27, 2016, the Commission requested that Staff provide some revised language proposing the increased fencing height and also language concerning standards that should be met to allow an increase. Another discussion and review ensued on June 8, 2016 where the Commission recommended some additional changes relating to; height uniformity, issues of safety and security, and adjacent fences being reasonably comparable concerning fencing materials.

On September 28, 2016 a public hearing was conducted and initial comments from the public were received. After further discussion, the Commission moved to table this amendment and requested Staff to further clarify the proposed fencing height increase.

Staff has provided the attached proposed text amendment (**Attachment A**) for review and discussion. In summary, this attachment addresses the following proposed changes:

- Change of fencing height language to allow seven-feet (7') within all identified residential-use zone districts and an allowance to construct an eight-foot (8') high fence, based on specific requirements to be met and conditions for approval, within the Single-Family and Multi-Family Residential Zones throughout the City.
- Allowance to construct a seven-foot (7') high fence within the front yard setback, for any proposed Gated Community, within the Single-Family Residential Zone (SF-1) only.
- Removal of all fencing language relating to placement of a fence, hedge, or wall not being located nearer than six-inches (6") to any public sidewalk.
- Allowance of corner lots (defined as, "a lot situated at the intersection of two streets, the interior angle of such intersection does not exceed one hundred thirty-five degrees; §17-2-3 "C" definitions) to construct a seven-foot (7') high fence within one, front yard setback.

- Transit-Oriented Development (TOD) and Regional Commercial Residential Overlay zones required to have a minimum seven-foot (7') high fence creating a buffering standard from Residential uses.

In making this decision, Staff would recommend the Planning Commission consider the aesthetics, neighborhood and city character, reviewing agencies, etc. If the Planning Commission is comfortable with Staff's proposal, Staff would recommend approval of the ordinance, as presented in Attachment A.

STAFF RECOMMENDATION:

Staff recommends the Planning Commission reviews, discusses and considers the issues stated, and forward an appropriate recommendation to the City Council.

RECOMMENDED MOTIONS:

Option 1 – Recommend as presented

“In order to accommodate uses not originally contemplated when the Zoning Ordinance was originally adopted and to further provide safety and security of individual properties and their uses, I move that we forward a positive recommendation to the City Council to add language to adjust the fencing heights & to clarify the fencing language & standards Citywide, as included in Attachment A.”

Option 2 – Recommend with changes

“In order to accommodate uses not originally contemplated when the Zoning Ordinance was originally adopted and to further provide safety and security of individual properties and their uses, I move that we forward a positive recommendation to the City Council to add language to adjust the fencing heights & to clarify the fencing language & standards Citywide, as included in Attachment A, but with the following changes:

1. . . .
2. . . .”

Option 3 – Not recommend

“I find that the proposed text amendment to add language to adjust the fencing heights & to clarify the fencing language & standards Citywide is not appropriate for the City of Midvale for the following reasons:

1. . . .
2. . . .

And, therefore, move to forward a negative recommendation to the City Council on this proposed text amendment, as included in Attachment A.”

ATTACHMENTS:

- Attachment A – Revised Ordinance Proposal
- Current Zoning Map

PUBLIC NOTICE: No Yes

ATTACHMENT A

Chapter 17-7-1 Single Family Residential Zone (SF-1)

- Section 17-7-1.2 Use table.

If a use is not specifically designated, then it is prohibited.

Table 17-7-1.2 Uses

Type	Allowed	Administrative	Conditional	Business License
Flag Lot			X	
Gated Development Community		X		
Home Occupation	X			X

- Section 17-7-1.6 Fences, hedges and walls. (A)
2. ~~No fence, hedge, or wall is placed nearer than six inches to any public sidewalk.~~

- Section 17-7-1.6 Fences, hedges and walls. (B) Height.

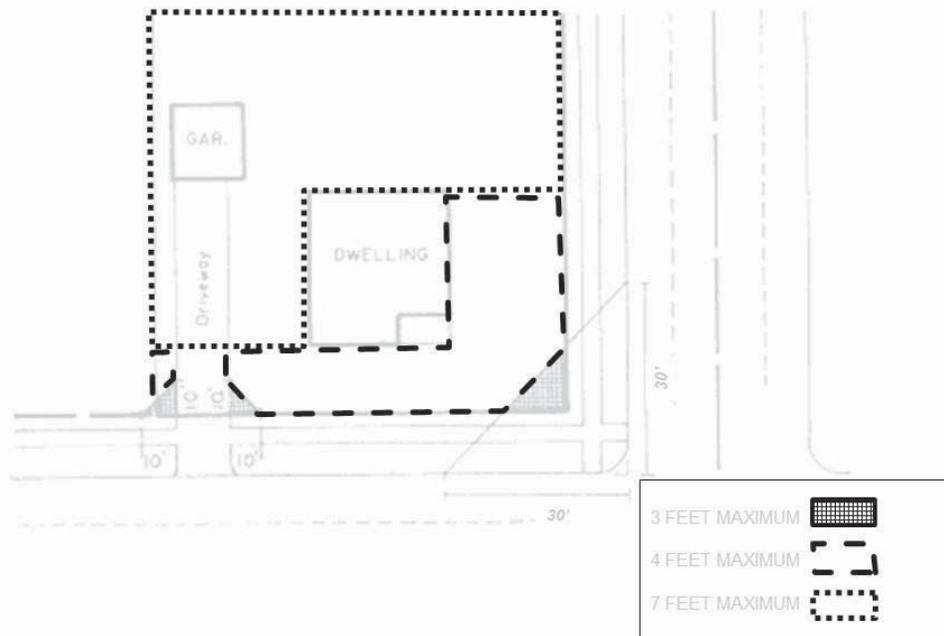
No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle, measured as follows:

- 1. In a required yard abutting a street, the total effective height above the finished grade measured on the side nearest the street;*
- 2. In any other required yard, the total effective height above the finished grade measured on the side nearest the abutting property;*
- 3. On a property line, measured from the finished grade of either side when the abutting property owners are in agreement; and*
- 4. A temporary fence on a construction site may be as high as required to protect the property during the period of construction.*
- 5. Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:*
 - a) The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
 - b) Buffering between commercial / industrial uses and residential uses.*
 - c) Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.
- ii. The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.
- iii. A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.

6. Corner lots may have a fence up to seven feet in height, enclosing the yard area opposite one of the side yards and along the street frontage, provided the fence does not extend into the remaining required front yard setback. Any fence, hedge, or wall placed within ten feet of a driveway may not exceed three feet in height for sight obscuring solid material or four feet in height for nonobscuring open materials for the first ten feet behind the sidewalk.



— Section 17-7-1.11 Conditional use standards of review. (B) (2) Administrative Conditional Use.
 b. ~~Gated Communities. An application for a gated community must demonstrate adequate provision for perpetual access of life safety equipment and personnel. The minimum width of one way access is fifteen feet. Proposed gate works must include access technology installed and maintained to the reasonable satisfaction of the fire marshal.~~

b. Gated Communities. Each application for a gated community must comply with the following:

- i. An application for a gated community must demonstrate adequate provision for perpetual access of life safety equipment and personnel.
- ii. The minimum width of a one-way access is fifteen feet.
- iii. Proposed gate works must include access technology installed and maintained to the reasonable satisfaction of the fire marshal.
- iv. Gates shall be located so as to allow appropriate stacking depth for vehicles entering the community so as to not impede vehicular and pedestrian traffic.
- v. Gates and fencing associated with a gated community shall reflect the character of the community through appropriate design, materials and colors.
- vi. Perimeter fencing for a gated community may include fences up to seven feet in height within the front yard setback provided this fencing complies with the following:
 - (A) Higher fencing is required for security;
 - (B) Fencing is constructed of non-obscuring open materials, such as wrought iron, picket with gaps no less than the width of the slat, etc.;
 - (C) Fencing is integrated into the gated community landscape and entry features, and does not restrict the maintenance of the property; and
 - (D) Fencing does not impede the use of sidewalks and driveways outside the gated community property.

Chapter 17-7-2 Single Family Residential Zone (SF-2)

- Section 17-7-2.6 Fences, hedges and walls. (A)
 2. ~~No fence, hedge, or wall is placed nearer than six inches to any public sidewalk.~~

- Section 17-7-2.6 Fences, hedges and walls. (B) Height.

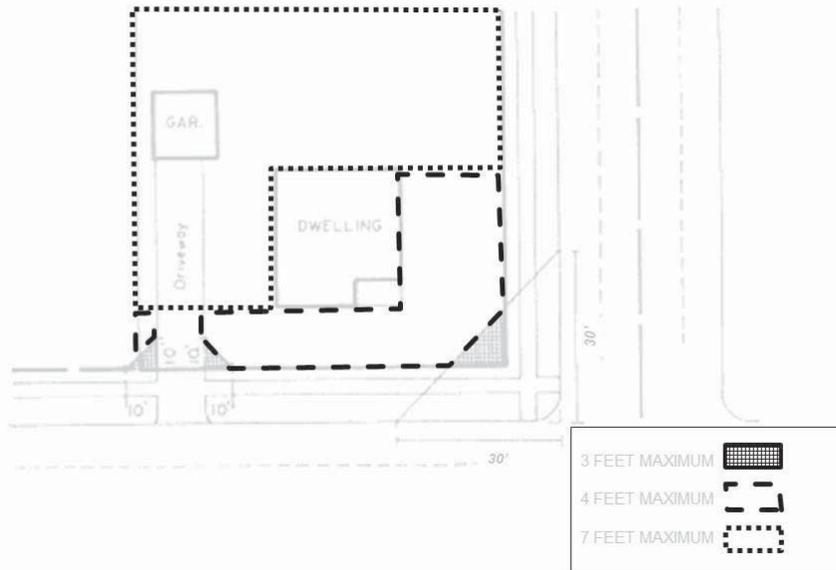
No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle measured as follows:

1. *In a required yard abutting a street, the total effective height above the finished grade measured on the side nearest the street;*
2. *In any other required yard, the total effective height above the finished grade measured on the side nearest the abutting property;*
3. *On a property line, measured from the finished grade of either side when the abutting property owners are in agreement; and*
4. *A temporary fence on a construction site may be as high as required to protect the property during the period of construction.*
5. *Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:*
 - a) *The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
 - b) *Buffering between commercial / industrial uses and residential uses.*
 - c) *Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. *The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.*
- ii. *The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.*
- iii. *A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.*

6. Corner lots may have a fence up to seven feet in height, enclosing the yard area opposite one of the side yards and along the street frontage, provided the fence does not extend into the remaining required front yard setback. Any fence, hedge, or wall placed within ten feet of a driveway may not exceed three feet in height for sight obscuring solid material or four feet in height for nonobscuring open materials for the first ten feet behind the sidewalk.



- Section 17-7-2.11 (B) (e) (v) (B) Neighborhood Commercial Use. Full Sight-Obscuring Fence. ~~Such fence must be six feet high.~~ Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission)

Chapter 17-7-3 Multifamily Residential – Medium Density Zone (RM-12)

- Section 17-7-3.5 (D) Fences, Hedges and Walls. (1)
 - b. No fence, hedge, or wall is placed nearer than six inches to any public sidewalk

- Section 17-7-3.5 (D) Fences, Hedges and Walls. (2) Height.

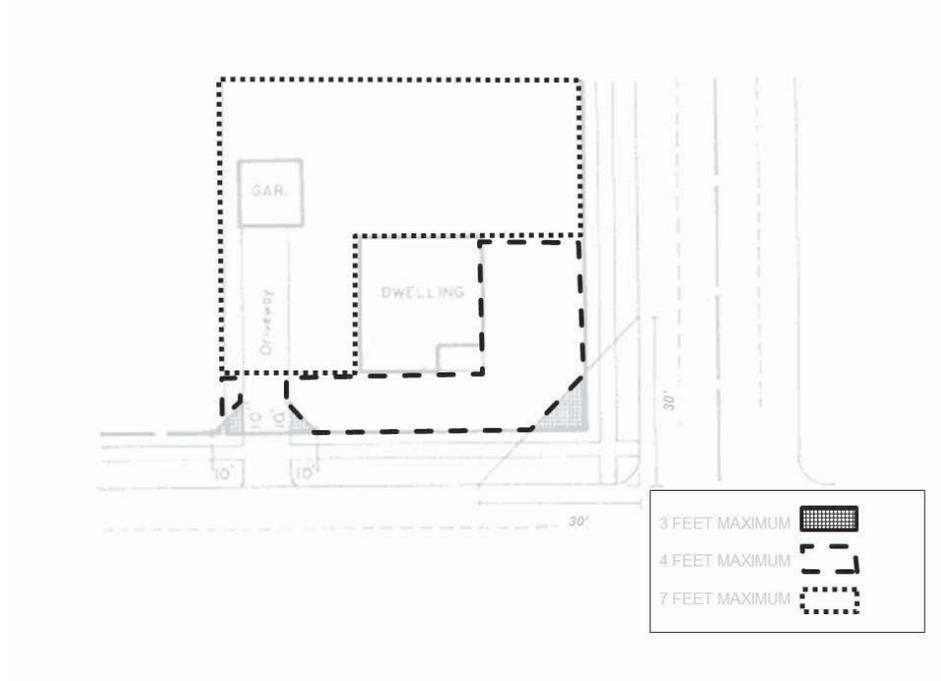
No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle measured as follows:

1. In a required yard abutting a street, the total effective height above the finished grade measured on the side nearest the street;
2. In any other required yard, the total effective height above the finished grade measured on the side nearest the abutting property;
3. On a property line, measured from the finished grade of either side when the abutting property owners are in agreement; and
4. A temporary fence on a construction site may be as high as required to protect the property during the period of construction.
5. Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:
 - a) The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.
 - b) Buffering between commercial / industrial uses and residential uses.
 - c) Demonstration of safety and/or security matters.

Fencing eight feet in height shall comply with the following conditions:

- i. The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.
 - ii. The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.
 - iii. A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.
6. Corner lots may have a fence up to seven feet in height, enclosing the yard area opposite one of the side yards and along the street frontage, provided the fence does not extend into the remaining required front yard setback. Any fence, hedge, or wall placed within ten feet of a driveway may not exceed three feet in height for sight obscuring solid material or four feet in

height for nonobscuring open materials for the first ten feet behind the sidewalk.



– Table 17-7-3.5 Architectural Standards (Multifamily)

Materials	Configurations	Techniques
Yards		
<i>Yard Walls & Fences:</i> Shall be of materials and color complementary to the building's materials.	Max. height from front of primary structure forward is 4'. Max. height in clear view triangle is 3'. Max. height on lot is 6' 7'.	When a masonry wall is constructed, it shall be at least 8" in thickness and be capped by a top course suitable for weather protection.

Chapter 17-7-4 Multifamily Residential – Medium to High Density Zone (RM-25)

- Section 17-7-4.5 (D) Fences, Hedges and Walls. (1)
 - b. ~~No fence, hedge, or wall is placed nearer than six inches to any public sidewalk.~~

- Section 17-7-4.5 (D) Fences, Hedges and Walls. (2) Height.

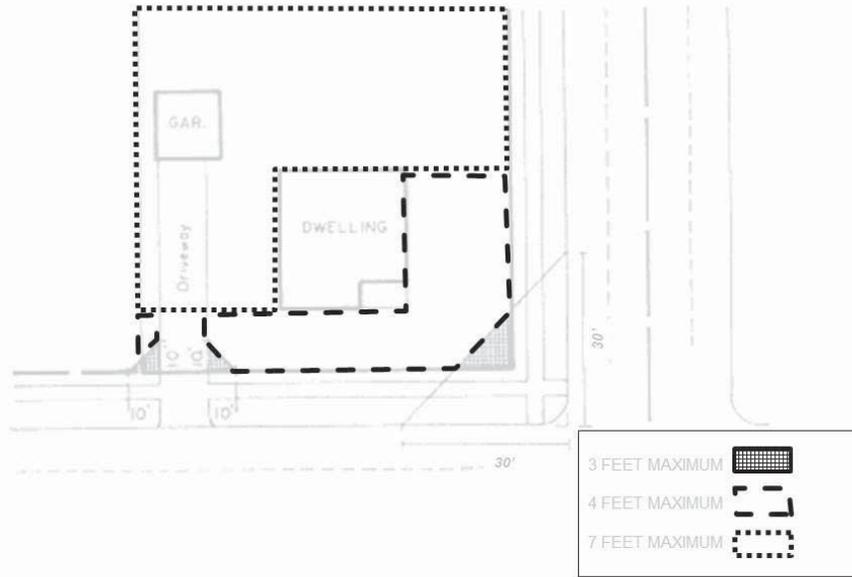
No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle measured as follows:

1. *In a required yard abutting a street, the total effective height above the finished grade measured on the side nearest the street;*
2. *In any other required yard, the total effective height above the finished grade measured on the side nearest the abutting property;*
3. *On a property line, measured from the finished grade of either side when the abutting property owners are in agreement; and*
4. *A temporary fence on a construction site may be as high as required to protect the property during the period of construction.*
5. *Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:*
 - a) *The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
 - b) *Buffering between commercial / industrial uses and residential uses.*
 - c) *Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. *The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.*
 - ii. *The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.*
 - iii. *A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.*
6. *Corner lots may have a fence up to seven feet in height, enclosing the yard area opposite one of the side yards and along the street frontage, provided the fence does not extend into the remaining required front yard setback. Any fence, hedge, or wall placed within ten feet of a driveway may not exceed three feet in height for sight obscuring solid material or four feet in*

height for nonobscuring open materials for the first ten feet behind the sidewalk.



– Table 17-7-4.5 Architectural Standards (Multifamily)

Materials	Configurations	Techniques
Yards		
<i>Yard Walls & Fences:</i> Shall be of materials and color complementary to the building's materials.	Max. height from front of primary structure forward is 4'. Max. height in clear view triangle is 3'. Max. height on lot is 6'-7'.	When a masonry wall is constructed, it shall be at least 8" in thickness and be capped by a top course suitable for weather protection.

Chapter 17-7-5 Mixed-Use Zone (MU)

– Table 17-7-5.2 Uses

Type	Allowed	Administrative	Conditional	Business License
Fences				
6' 7' or less	X			
> 6' 7'		X		

- Section 17-7-5.8 (B) (2) Administrative Conditional Use. (c) Fences greater than ~~six~~ seven feet in height.

i. The applicant must demonstrate that a fence greater than ~~six~~ seven feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.

ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.

iii. Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.

Chapter 17-7-6 7200 South Overlay

- Section 17-76.5 Architectural Standards. (D) Fences, Hedges and Walls. (1)
 - c. No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk

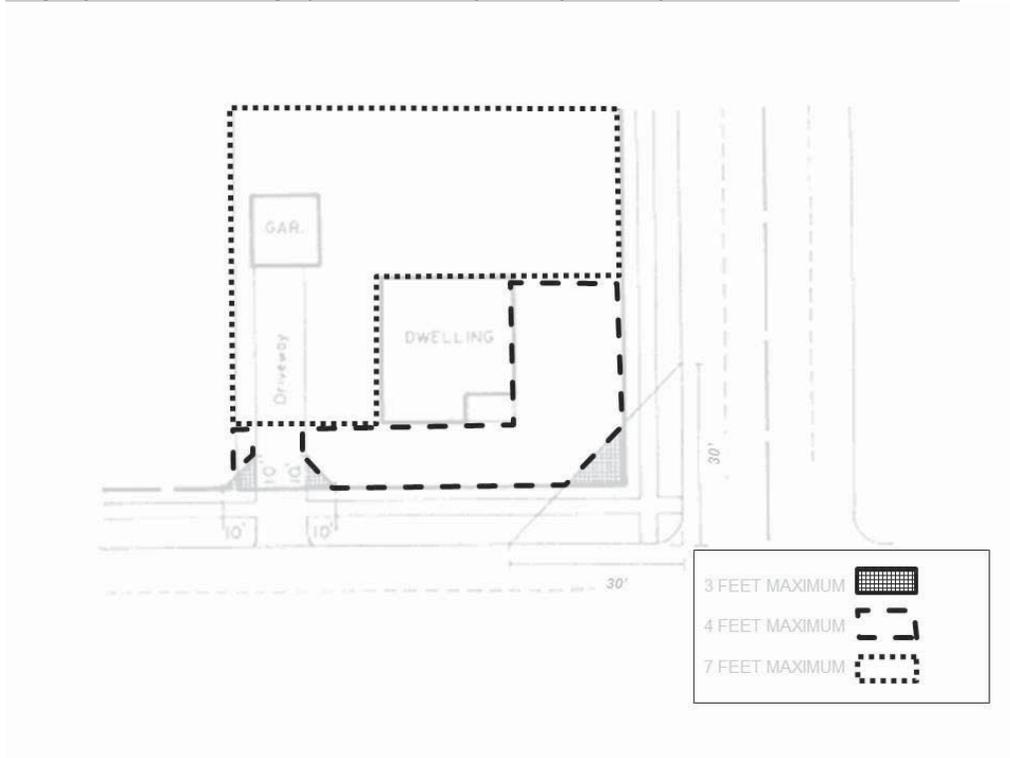
– Section 17-7-6.5 Architectural Standards. (D) Fences, Hedges and Walls. (2) Height.
No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle measured as follows:

1. *In a required yard abutting a street, the total effective height above the finished grade measured on the side nearest the street;*
2. *In any other required yard, the total effective height above the finished grade measured on the side nearest the abutting property;*
3. *On a property line, measured from the finished grade of either side when the abutting property owners are in agreement; and*
4. *A temporary fence on a construction site may be as high as required to protect the property during the period of construction.*
5. *Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:*
 - a) *The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
 - b) *Buffering between commercial / industrial uses and residential uses.*
 - c) *Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. *The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.*
 - ii. *The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.*
 - iii. *A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.*
6. *Corner lots may have a fence up to seven feet in height, enclosing the yard area opposite one of the side yards and along the street frontage, provided the fence does not extend into the remaining required front yard setback. Any fence, hedge, or wall placed within ten feet of a driveway may not exceed three feet in height for sight obscuring solid material or four feet in*

height for nonobscuring open materials for the first ten feet behind the sidewalk.



Chapter 17-7-7 State Street Zone (SSC)

– Table 17-7-7.2 Uses

Type	Allowed	Administrative	Conditional	Business License
Fences				
6' 7' or less	X			
> 6' 7'		X		

- Section 17-7-7.5 Architectural Standards. (E) Fences, Hedges and Walls. (1)
 - e. ~~No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk.~~

- Section 17-7-7.5 Architectural Standards. (E) Fences, Hedges and Walls. (2) Height.

No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle

- Section 17-7-7.7 Required landscaping. (I) Residential buffer. (2) Fully-sight obscuring fence.

The planning commission shall require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and landscaping is not practical. ~~Such fence must be six feet high.~~ Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission) and completely sight-obscuring. Fences may be of wood, metal, bricks, masonry or other permanent materials

– Table 17-7-7.7 Landscaping Requirements

Area	Requirement	Specifications
Residential Buffer	30' between residential and commercial uses	<ul style="list-style-type: none"> • Minimum 1 tree for every 250 s.f. of buffer area • Minimum 6' masonry wall between commercial and residential uses

- Section 17-7-7.11 (B) (2) Administrative Conditional Use. (b) Fences greater than ~~six~~ seven feet in height.

- i. *The applicant must demonstrate that a fence greater than ~~six~~ seven feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.*

- ii. *The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.*

- iii. *Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.*

Chapter 17-7-8 Transit-Oriented Development Zone (TOD)

– Table 17-7-8.2 Uses

Type	Allowed	Administrative	Conditional	Business License
Fences 6' 7' or less	X			
> 6' 7'		X		

- Section 17-7-8.3 Single Family Residential. (K) Fences, Hedges and Walls. (1)
~~b. No fence, hedge, or wall is placed nearer than six inches to any public sidewalk.~~

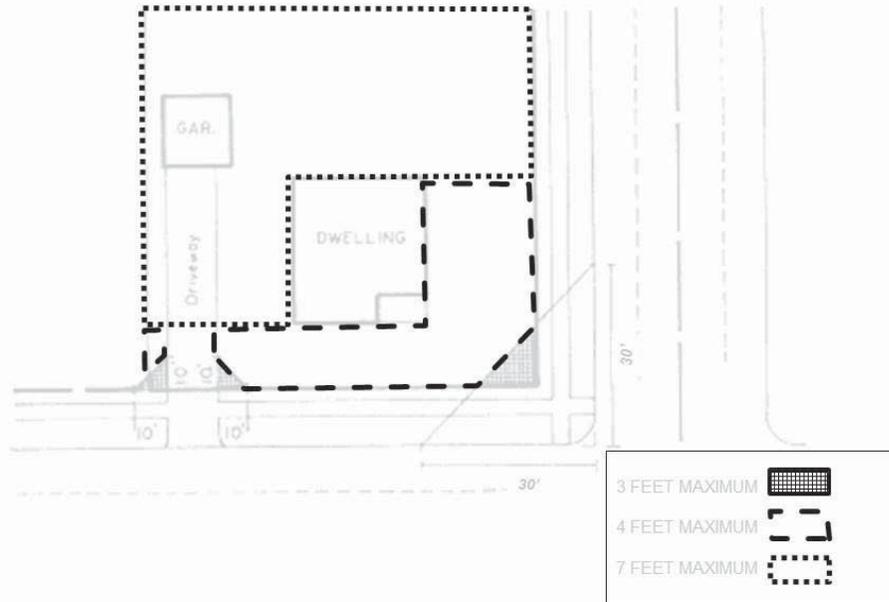
– Section 17-7-8.3 Single Family Residential. (K) Fences, Hedges and Walls. (2) Height.
No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle measured as follows:

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2. *In any other required yard, the total effective height above the finished grade measured on the side nearest the abutting property;*
3. *On a property line, measured from the finished grade of either side when the abutting property owners are in agreement; and*
4. *A temporary fence on a construction site may be as high as required to protect the property during the period of construction.*
5. *Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:*
 - a) *The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
 - b) *Buffering between commercial / industrial uses and residential uses.*
 - c) *Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

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6. Corner lots may have a fence up to seven feet in height, enclosing the yard area opposite one of the side yards and along the street frontage, provided the fence does not extend into the remaining required front yard setback. Any fence, hedge, or wall placed within ten feet of a driveway may not exceed three feet in height for sight obscuring solid material or four feet in height for nonobscuring open materials for the first ten feet behind the sidewalk.



- Section 17-7-8.4 Medium and high density residential. (I) Fencing.

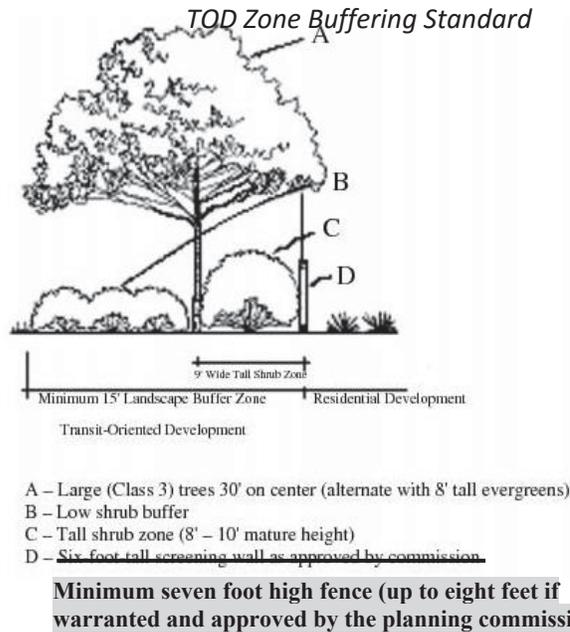
Fencing in residential developments shall not exceed ~~six~~ seven feet in height in the rear and side yards. Fencing in a front yard is prohibited. Fencing located in the sight distance triangle shall not exceed three feet in height. The fencing of private yards shall be accomplished in a manner that does not create areas of common space that are unusable, inaccessible, or hidden from other residents of the project. Barbed or razor wire is prohibited

- Section 17-7-8.6 Retail, office and mixed-use architectural. (E) Fences, Hedges and Walls.
(2) Height.

No fence or wall may exceed ~~six~~ seven feet in height, four feet in height in the front yard setback, nor three feet in the clear view triangle

- Section 17-7-8.7 Required landscaping. (C) Residential Buffer.

*New development shall provide a minimum fifteen-foot landscaped buffer consisting of large trees, shrubs, and a ~~six-foot screening wall as approved by the planning commission~~. **minimum seven foot high fence (up to eight feet if warranted and approved by the planning commission)**. The screening wall shall be constructed of wood, metal, brick, masonry or other permanent materials along all property boundaries adjacent to single family residential zones*



- Section 17-7-8.11 (B) (2) Administrative Conditional Use. (c) Fences greater than ~~six~~ **seven** feet in height.

*i. The applicant must demonstrate that a fence greater than ~~six~~ **seven** feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.*

ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.

*iii. Fences shall comply with all requirements for fences less than or equal to ~~six~~ **seven** feet in height with regard to location and construction.*

Chapter 17-7-9 Bingham Junction Zone (BJ)

- Section 17-7-9.3 Uses.
 - Subarea 1 – Residential
 - Fences, 6' 7' or less – Allowed*
 - Subarea 1 – Urban
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 2 – Urban
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 2 – Mixed-Use
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 3 – Residential
 - Fences, 6' 7' or less – Allowed*
 - Subarea 3 – Urban
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 3 – Mixed-Use
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 4 – Residential
 - Fences, 6' 7' or less – Allowed*
 - Subarea 4 – Urban
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 4 – Mixed-Use
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 5 – Urban
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 5 – Mixed-Use
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
 - Subarea 6 – Mixed-Use
 - Fences, 6' 7' or less – Allowed*
 - Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)*
- Section 17-7-9.9 (B) (2) Administrative Conditional Use. (c) Fences greater than six **seven** feet in height.
 - i. *The applicant must demonstrate that a fence greater than six **seven** feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.*

ii. *The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.*

iii. *Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.*

Chapter 17-7-9.12.1 Riverwalk Zone

- Section 17-7-9.12.1.3 Uses.

Subarea 1 – Residential

Fences, 6' 7" or less – Allowed

Subarea 1 – Retail/Office/Flex

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 2 – Retail/Office/Flex

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 2 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 5 – Retail/Office/Flex

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

- Section 17-7-9.12.1.5 Medium and high density residential development. (F) Fencing.

Fencing in residential developments shall not exceed ~~six~~ seven feet in height in the rear and side yards, and four feet in the front yard

- Section 17-7-9.12.1.7 Retail/office/flex and mixed-use landscaping. (A) (5) Residential buffer.

(b) Fully sight-obscuring fence.

The planning commission shall require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and landscaping is not practical. ~~Such fence must be six feet high~~ Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission) and completely sight-obscuring. Fences may be of wood, metal, bricks, masonry or other permanent materials

- Section 17-7-9.12.1.8 Retail/office/flex and mixed-use architectural standards (C)

c. No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk.

- Section 17-7-9.12.1.8 Retail/office/flex and mixed-use architectural standards. (C) Fences, Hedges, and Walls. (2) Height.

No fence structures may exceed ~~six~~ seven feet in height, four feet in height from the front of the primary structure forward, or three feet in the sight distance triangle

- Table 17-7-9.12.1.8 Architectural Standards

Materials	Configurations	Techniques
<i>Yard Walls & Fences: Shall be of materials and color complementary to the building's materials.</i>	<p>Max. height on lot is 6' 7". Max. height from front of primary structure forward is 4'.</p> <p>Max. height in site distance triangle is 3'.</p>	Masonry wall shall be at least 8" thick and capped by a weather protection top course.

Chapter 17-7-9.12.2 The Junction at Midvale Zone

– Section 17-7-9.12.2.3 Uses

Subarea 2 – Urban

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 2 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 3 – Residential

Fences, 6' 7" or less – Allowed

Subarea 3 – Urban

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 3 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 4 – Residential

Fences, 6' 7" or less – Allowed

Subarea 4 – Urban

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 4 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 5 – Urban

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 5 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 6 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

– Section 17-7-9.12.2.5 Medium and high density residential development. (G) Fencing.

Fencing in residential developments shall not exceed ~~six~~ seven feet in height in the rear and side yards.

Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:

- a) The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
- b) Buffering between commercial / industrial uses and residential uses.*
- c) Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.*
- ii. The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.*

iii. A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.

– Section 17-7-9.12.2.7 Retail/office/flex and mixed-use architectural. (C) Fences, hedges and walls. (1)

~~c. No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk.~~

– Section 17-7-9.12.2.7 Retail/office/flex and mixed-use architectural. (C) Fences, hedges, and walls. (2) Height.

No fence structures may exceed ~~six~~ seven feet in height except as needed for screening purposes in accordance with subsection (1) of this section

– Section 17-7-9.12.2.8 Retail/office/flex and mixed-use landscaping. (7) Residential buffer. (c) Fully sight-obscuring fence.

The planning commission may require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and the required landscaped buffer is not practical. ~~Such fence must be six feet high~~ Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission) and completely sight-obscuring. Fences may be of wood, metal, bricks, masonry or other permanent materials

Chapter 17-7-9.12.3 Silver Refinery Overlay

- Section 17-7-9.12.3.4 Uses.

Urban Use Type

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Residential Use Type

Fences, 6' 7" or less – Allowed

- Section 17-7-9.12.3.6 Medium density residential development standards for single-family attached and multi-family development. (F) Fencing.

Fencing in residential developments shall not exceed ~~six~~ seven feet in height in the rear and side yards.

Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:

- a) The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
- b) Buffering between commercial / industrial uses and residential uses.*
- c) Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.*
- ii. The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.*
- iii. A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.*

- Section 17-7-9.12.3.7 Medium density residential development standards for single-family detached development. (E) Interior Fencing.

Interior fencing is considered a design element of the overall project. All interior fencing, including location, type and height, shall be reviewed and approved by the planning commission as part of the site review process. Interior fencing shall not exceed ~~six~~ seven feet in height. Fencing up to eight feet in height may be allowed in the side(s) or rear yard provided one of the following requirements are met:

- a) The side(s) or rear property is adjacent to a freeway system or arterial or collector roadway.*
- b) Buffering between commercial / industrial uses and residential uses.*
- c) Demonstration of safety and/or security matters.*

Fencing eight feet in height shall comply with the following conditions:

- i. The proposed fence shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another.*
- ii. The proposed fence shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.*
- iii. A building permit shall be obtained from the City and construction of fences and retaining walls must meet applicable requirements of the building codes.*

- Section 17-7-9.12.3.9 Commercial and mixed use architectural standards. (C) Fences, Hedges, and Walls. (1)

c. No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk.

- Section 17-7-9.12.3.9 Commercial and mixed use architectural standards. (C) Fences, Hedges, and Walls. (2) Height.

*No fence structures may exceed ~~six~~ **seven** feet in height except as needed for screening purposes in accordance with subsection (1) of this section*

- Section 17-7-9.12.3.10 Commercial and mixed-use landscaping. (A) (6) Residential buffer. (c) Fully sight-obscuring fence.

*The planning commission may require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and the required landscaped buffer is not practical. In such instances, the planning commission shall determine the appropriate width and type of landscaping to be used in conjunction with a completely sight-obscuring fence of at least ~~six feet in height~~ **six feet high (up to eight feet if warranted and approved by the planning commission)**. **Fences may be of wood, metal, bricks, masonry or other permanent materials.***

Chapter 17-7-10 Jordan Bluffs Zone (JB)

– Section 17-7-10.3 Uses.

Subarea 1 – Residential

Fences, 6' 7" or less – Allowed

Subarea 1 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 2 – Residential

Fences, 6' 7" or less – Allowed

Subarea 2 – Mixed-Use

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 3 – Residential

Fences, 6' 7" or less – Allowed

Subarea 3 – Urban (Office/Retail/Flex)

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

Subarea 4 – Residential

Fences, 6' 7" or less – Allowed

Subarea 4 – Urban (Office/Retail/Flex)

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

– Section 17-7-10.9 (B) (2) Administrative Conditional Use. (d) Fences greater than ~~six~~ **seven** feet in height.

i. *The applicant must demonstrate that a fence greater than ~~six~~ **seven** feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.*

ii. *The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.*

iii. *Fences shall comply with all requirements for fences less than or equal to ~~six~~ **seven** feet in height with regard to location and construction.*

Chapter 17-7-11 Historic Commercial Zone (HC)

- Section 17-7-11.2 Uses.

Table 17-7-11.2

Type	Allowed	Administrative	Conditional
Fences—Single Family/Duplex Uses			
≤ 7' or less	X		
> 7'		X	
Fences—Commercial/Mixed Use/Multi-Family Uses			X

- Table 17-7-11.6 Architectural Standards

Materials	Configurations	Techniques
Yard Walls & Fences: Shall be of materials and color complementary to the building's materials.	Max. height on lot is 7'. Max. height from front of primary structure forward is 4'. Max. height in clear view triangle is 3'.	Masonry wall shall be at least 8" thick and capped by a weather protection top course.

- Section 17-7-11.8 (B) Conditional Uses. (c) Fences for Commercial, Mixed Use and Multi-family developments.

Each application for a fence within a commercial, mixed use or multi-family development must comply with the following:

- i. The applicant must demonstrate that the fence is an integral part of the development's design and function.*
- ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.*
- iii. Fences shall be located on private property and entirely within the property lines of the property they are intended to serve. No fence shall extend beyond or across a property line, unless there is a recorded agreement with the abutting property owner. ~~No fence may be placed nearer than six inches to any public sidewalk.~~ A survey and site plan shall be provided to show the proposed fence location.*
- iv. Only one fence or wall shall be allowed per property line. Double fences, walls or a combination thereof are prohibited.*

v. Fences shall be designed to promote natural surveillance through properties for crime prevention. Solid fences are discouraged in most areas, unless the applicant can demonstrate a solid fence is in the best interest of the community.

vi. Fences shall not be constructed in such a manner as to prohibit emergency vehicle access, pedestrian access, standard size parking spaces and drive aisle widths, and adequate circulation for pedestrians and vehicles.

vii. Fences shall not create pedestrian or vehicular access issues for abutting properties and uses.

viii. Clear view areas shall be maintained at all intersections and driveways.

ix. Fences shall meet the requirements of the National Building Code.

x. Fences used solely for the screening of dumpsters and building mechanical equipment are allowed. Temporary fencing on a construction site is allowed during the period of construction.

- Section 17-7-11.8 (B) (2) Administrative Conditional Use. (b) Fences greater than ~~six~~ seven feet in height.

i. The applicant must demonstrate that a fence greater than ~~six~~ seven feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.

ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.

iii. Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.

Chapter 17-7-12 Regional Commercial Zone (RC)

- Section 17-7-12.2 Uses.

Table 17-7-12.2

Fences, 6' 7' or less – Allowed

Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)

- Section 17-7-12.4 Architectural Standards. (C) Fences, Hedges, and Walls. (1)
e. ~~No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk.~~

– Section 17-7-12.4 Architectural Standards. (C) Fences, Hedges, and Walls. (2) Height.
No fence or wall may exceed six seven feet in height, four feet in height from the front of the primary structure forward, or three feet in the sight distance triangle

- Table 17-7-12.4 Architectural Standards.

Materials	Configurations	Techniques
Yard Walls & Fences: Shall be of materials and color complementary to the building's materials.	Max. height on lot is 6' 7'. Max. height from front of primary structure forward is 4'. Max. height in clear view triangle is 3'.	Masonry wall shall be at least 8" thick and capped by a weather protection top course.

– Section 17-7-12.6 Landscaping. (A) (8) Residential buffer. (b) Fully sight-obscuring fence.
The planning commission shall require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and landscaping is not practical. ~~Such fence must be six feet high~~ Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission) and completely sight-obscuring. Fences may be of wood, metal, bricks, masonry or other permanent materials

- Table 17-7-12.6. Landscaping Requirements.

Area	Requirement	Specifications
Residential Buffer	30' between residential and commercial uses	<ul style="list-style-type: none"> • Minimum 1 tree for every 250 s.f. of buffer area • Minimum 6' masonry wall between commercial and residential uses

- Section 17-7-12.9 (B) (2) Administrative Conditional Use. (c) Fences greater than ~~six~~ seven feet in height.

i. The applicant must demonstrate that a fence greater than six feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.

ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.

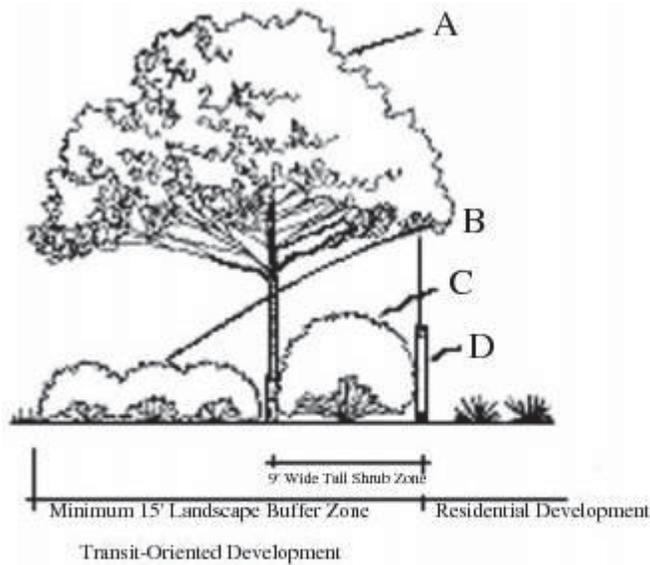
iii. Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.

Chapter 17-7-12.1 Regional Commercial Residential Overlay

- Section 17-7-12.1.3 Medium and high density residential and mixed-use development standards. (4) (b)

New development shall provide a minimum fifteen-foot landscaped buffer consisting of large trees, shrubs, and a ~~six-foot screening wall as approved by the planning commission.~~ minimum seven foot high fence (up to eight feet if warranted and approved by the planning commission). The screening wall shall be constructed of wood, metal, brick, masonry or other permanent materials along all property boundaries adjacent to single family residential zones

Residential Buffering Standard



- A – Large (Class 3) trees 30' on center (alternate with 8' tall evergreens)
- B – Low shrub buffer
- C – Tall shrub zone (8' – 10' mature height)
- D – ~~Six-foot-tall screening wall as approved by commission~~
Minimum seven foot high fence (up to eight feet if warranted and approved by the planning commission)

Chapter 17-7-13 Clean Industrial Zone (CI)

- Section 17-7-13.2 Uses.

Table 17-7-13.2

Fences, 6' 7" or less – Allowed

Fences, 6' 7" or more – Administrative Conditional Use Permit (ACUP)

- Section 17-7-13.4 Architectural standards. (C) Fences, Hedges and Walls. (1)
~~c. No fence, hedge, or wall may be placed nearer than six inches to any public sidewalk.~~

- Section 17-7-13.4 Architectural standards. (C) Fences, Hedges and Walls. (2) Height.
No fence or wall may exceed six seven feet in height, four feet in height from the front of the primary structure forward, or three feet in the sight distance triangle

- Table 17-7-13.4 Architectural standards.

Materials	Configurations	Techniques
Yard Walls & Fences: Shall be of materials and color complementary to the building's materials.	Max. height on lot is 6' 7". Max. height from front of primary structure forward is 4'. Max. height in clear view triangle is 3'.	Masonry wall shall be at least 8" thick and capped by a weather protection top course.

- Section 17-7-13.6 Landscaping. (A) (8) Residential Buffer. (b) Fully sight-obscuring fence.
The planning commission shall require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and landscaping is not practical. Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission) and completely sight-obscuring. Fences may be of wood, metal, bricks, masonry or other permanent materials

- Table 17-7-13.6 Landscaping Requirements.

Area	Requirement	Specifications
Residential Buffer	30' between residential and commercial uses	<ul style="list-style-type: none"> • Minimum 1 tree for every 250 s.f. of buffer area • Minimum 6' masonry wall between commercial and residential uses

– Section 17-7-13.9 (B) (2) Administrative Conditional Use. (c) Fences greater than ~~six~~ seven feet in height.

i. The applicant must demonstrate that a fence greater than ~~six~~ seven feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.

ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.

iii. Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.

Chapter 17-7-15 State Street Overlay Zone (SSOZ)

- Section 17-7-15.3 Use tables.

Table 17-7-15.3

Fences, 6' 7' or less – Allowed

Fences, 6' 7' or more – Administrative Conditional Use Permit (ACUP)

- Section 17-7-15.6 General architecture standards. (E) (1)

~~c. No fence, hedge, or wall is placed nearer than six inches to any public sidewalk.~~

- Section 17-7-15.6 General architecture standards for State Street overlay. (E) Fences, Hedges, and Walls. (2) Height.

No fence or wall may exceed six seven feet in height, four feet in height from the front of the primary structure forward, nor three feet in the clear view triangle

- Table 17-7-15.6 Architectural Standards.

Materials	Configurations	Techniques
Yards		
<i>Yard Walls & Fences: Shall be of materials and color complementary to the building's materials.</i>	<i>Max. height from front of primary structure forward is 4'. Max. height in clear view triangle is 3'. Max. height on lot is 6' 7'.</i>	<i>When a masonry wall is constructed, it shall be at least 8" in thickness and be capped by a top course suitable for weather protection.</i>

- Section 17-7-15.7 General landscaping requirements for the State Street overlay. (E) Residential Buffer. (2) Fully sight-obscuring fence.

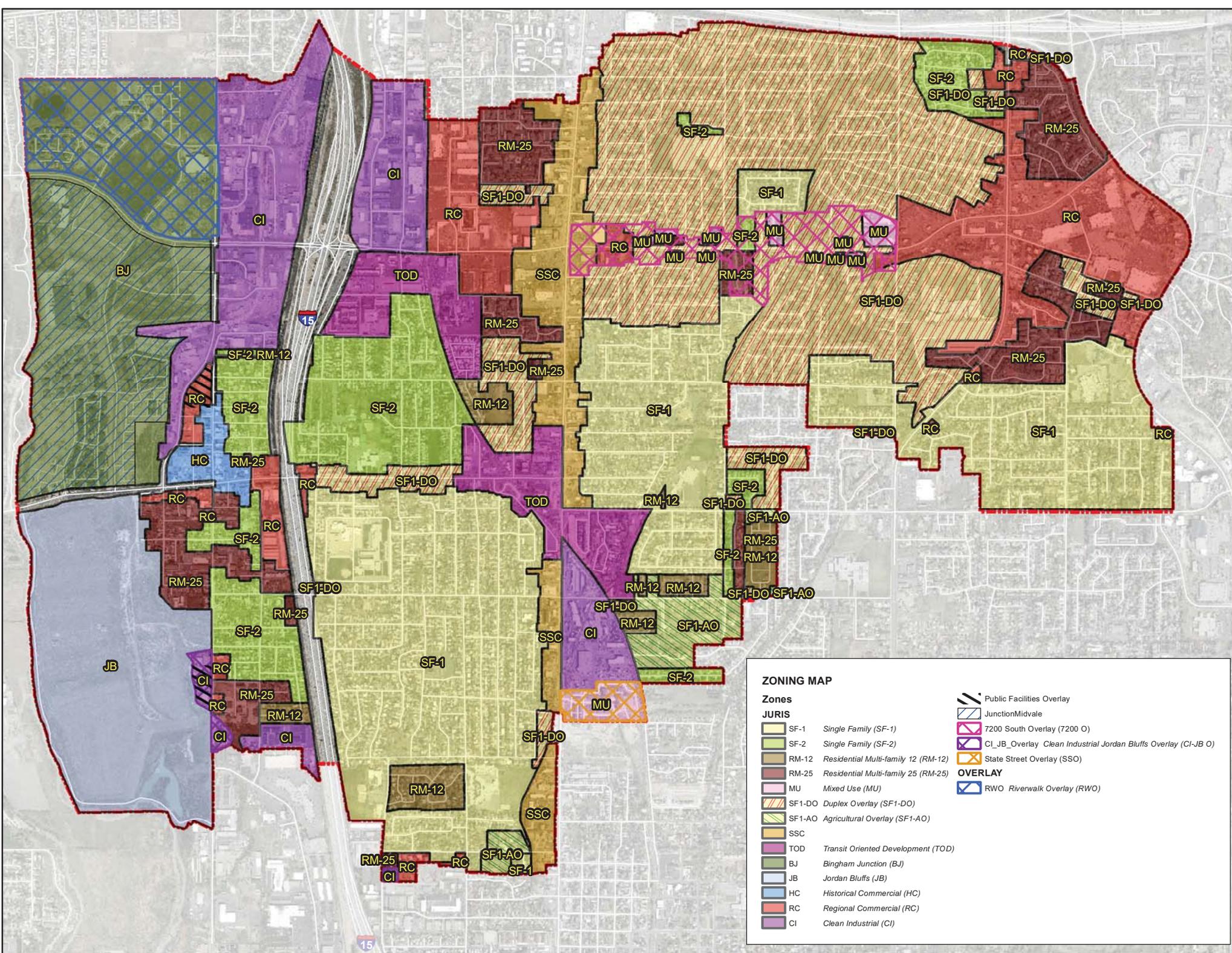
The land use authority shall require complete visual separation from residential uses if it determines that complete screening is necessary to protect abutting uses, and landscaping is not practical. ~~Fencing used for this purpose must be six feet high~~ Such fence must be a minimum of six feet high (up to eight feet if warranted and approved by the planning commission) and completely sight-obscuring. Fences may be of wood, metal, bricks, masonry or other permanent materials.

- Section 17-7-15.12 (B) (2) Administrative Conditional Use. (f) Fences greater than six seven feet in height.

i. The applicant must demonstrate that a fence greater than six seven feet in height is necessary to better promote public health, safety, welfare, and aesthetic quality in the area and the height requested is the minimum necessary to achieve this.

ii. The fence design, i.e., materials, color, features, height, must be compatible with the associated development in terms of theme, architecture and function. All barbed wire or other sharp, pointed, or electrically charged fences are prohibited.

iii. Fences shall comply with all requirements for fences less than or equal to ~~six~~ seven feet in height with regard to location and construction.



ZONING MAP

- Zones**
- SF-1 Single Family (SF-1)
 - SF-2 Single Family (SF-2)
 - RM-12 Residential Multi-family 12 (RM-12)
 - RM-25 Residential Multi-family 25 (RM-25)
 - MU Mixed Use (MU)
 - SF1-DO Duplex Overlay (SF1-DO)
 - SF1-AO Agricultural Overlay (SF1-AO)
 - SSC
 - TOD Transit Oriented Development (TOD)
 - BJ Bingham Junction (BJ)
 - JB Jordan Bluffs (JB)
 - HC Historical Commercial (HC)
 - RC Regional Commercial (RC)
 - CI Clean Industrial (CI)
- JURIS**
- Public Facilities Overlay
 - JunctionMidvale
 - 7200 South Overlay (7200 O)
 - CI_JB_Overlay Clean Industrial Jordan Bluffs Overlay (CI-JB O)
 - State Street Overlay (SSO)
 - OVERLAY**
 - RWO Riverwalk Overlay (RWO)